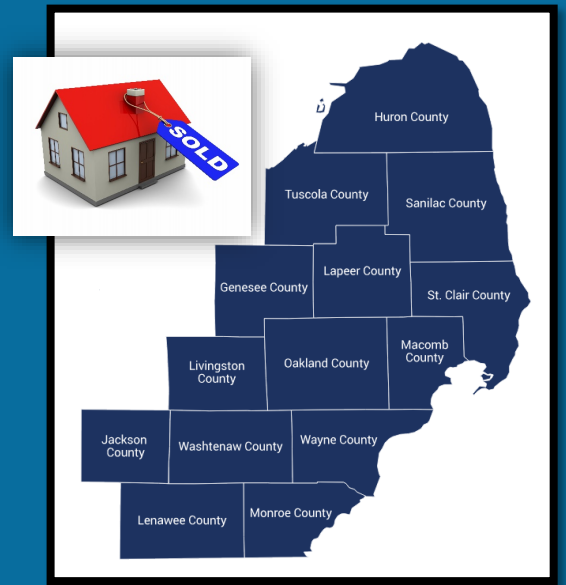




# SINGLE-FAMILY REAL ESTATE MARKET STATISTICS

POWERED BY REALCOMP REALTORS®

## SEPTEMBER 2019



# Local Market Update – September 2019

A Research Tool Provided by Realcomp



## Genesee County

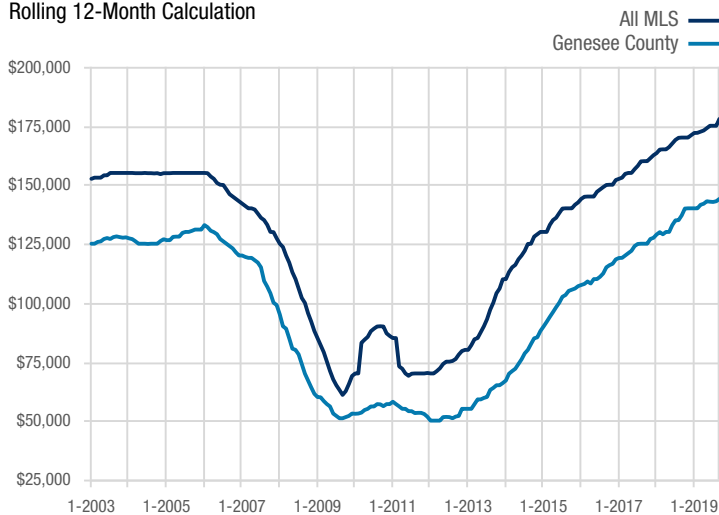
| Residential                     | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 580       | 560       | - 3.4%   | 5,389        | 5,557       | + 3.1%   |
| Pending Sales                   | 418       | 464       | + 11.0%  | 3,957        | 4,309       | + 8.9%   |
| Closed Sales                    | 403       | 442       | + 9.7%   | 3,721        | 4,091       | + 9.9%   |
| Days on Market Until Sale       | 30        | 32        | + 6.7%   | 42           | 44          | + 4.8%   |
| Median Sales Price*             | \$146,750 | \$149,950 | + 2.2%   | \$140,000    | \$145,000   | + 3.6%   |
| Average Sales Price*            | \$159,816 | \$168,554 | + 5.5%   | \$154,990    | \$158,846   | + 2.5%   |
| Percent of List Price Received* | 98.0%     | 98.2%     | + 0.2%   | 97.5%        | 97.4%       | - 0.1%   |
| Inventory of Homes for Sale     | 2,669     | 1,317     | - 50.7%  | —            | —           | —        |
| Months Supply of Inventory      | 6.4       | 2.9       | - 54.7%  | —            | —           | —        |

| Condo                           | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 64        | 70        | + 9.4%   | 546          | 532         | - 2.6%   |
| Pending Sales                   | 41        | 56        | + 36.6%  | 415          | 405         | - 2.4%   |
| Closed Sales                    | 46        | 42        | - 8.7%   | 396          | 368         | - 7.1%   |
| Days on Market Until Sale       | 47        | 26        | - 44.7%  | 36           | 47          | + 30.6%  |
| Median Sales Price*             | \$152,000 | \$160,500 | + 5.6%   | \$150,175    | \$154,000   | + 2.5%   |
| Average Sales Price*            | \$142,758 | \$169,376 | + 18.6%  | \$150,841    | \$153,595   | + 1.8%   |
| Percent of List Price Received* | 98.0%     | 98.8%     | + 0.8%   | 97.8%        | 97.9%       | + 0.1%   |
| Inventory of Homes for Sale     | 218       | 137       | - 37.2%  | —            | —           | —        |
| Months Supply of Inventory      | 5.1       | 3.3       | - 35.3%  | —            | —           | —        |

\* Does not account for sale concessions and/or downpayment assistance. | Percent changes are calculated using rounded figures and can sometimes look extreme due to small sample size.

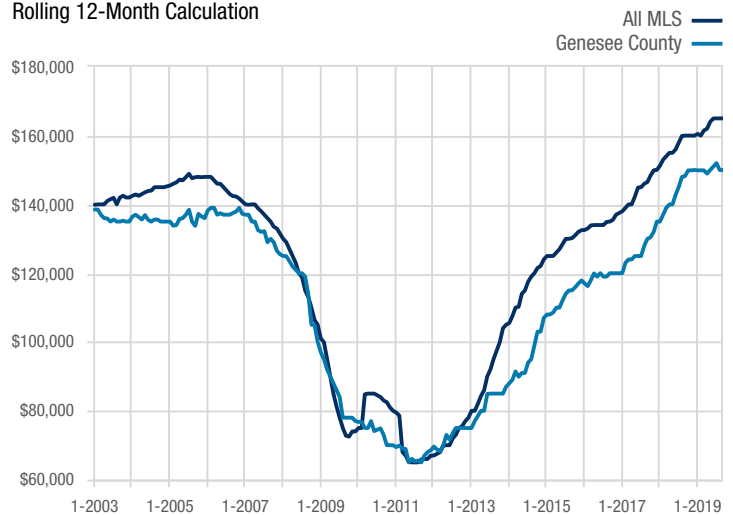
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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# Local Market Update – September 2019

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## Huron County

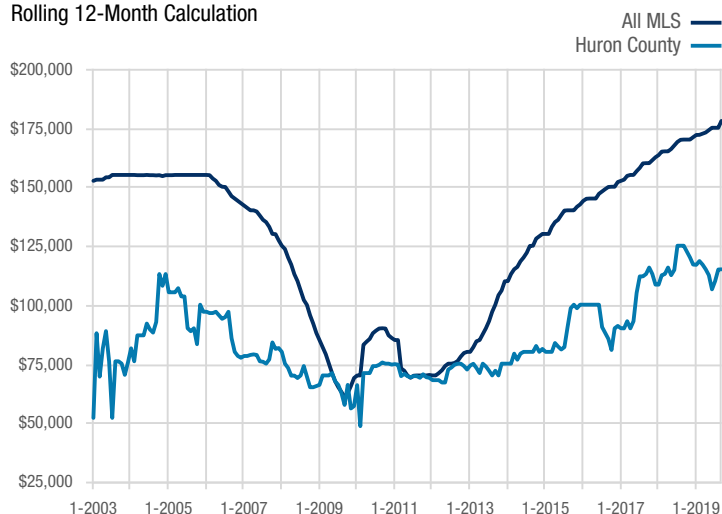
| Residential                     | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 11        | 11        | 0.0%     | 127          | 168         | + 32.3%  |
| Pending Sales                   | 12        | 10        | - 16.7%  | 71           | 103         | + 45.1%  |
| Closed Sales                    | 12        | 16        | + 33.3%  | 66           | 100         | + 51.5%  |
| Days on Market Until Sale       | 145       | 91        | - 37.2%  | 134          | 105         | - 21.6%  |
| Median Sales Price*             | \$124,000 | \$131,750 | + 6.3%   | \$129,000    | \$120,000   | - 7.0%   |
| Average Sales Price*            | \$149,858 | \$181,112 | + 20.9%  | \$165,390    | \$151,762   | - 8.2%   |
| Percent of List Price Received* | 92.8%     | 93.8%     | + 1.1%   | 93.9%        | 93.9%       | 0.0%     |
| Inventory of Homes for Sale     | 83        | 81        | - 2.4%   | —            | —           | —        |
| Months Supply of Inventory      | 11.1      | 7.5       | - 32.4%  | —            | —           | —        |

| Condo                           | September |      |          | Year to Date |             |          |
|---------------------------------|-----------|------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019 | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 0         | 0    | 0.0%     | 0            | 4           | —        |
| Pending Sales                   | 0         | 1    | —        | 0            | 2           | —        |
| Closed Sales                    | 0         | 0    | 0.0%     | 1            | 1           | 0.0%     |
| Days on Market Until Sale       | —         | —    | —        | 119          | 64          | - 46.2%  |
| Median Sales Price*             | —         | —    | —        | \$138,000    | \$161,500   | + 17.0%  |
| Average Sales Price*            | —         | —    | —        | \$138,000    | \$161,500   | + 17.0%  |
| Percent of List Price Received* | —         | —    | —        | 89.1%        | 95.6%       | + 7.3%   |
| Inventory of Homes for Sale     | 1         | 3    | + 200.0% | —            | —           | —        |
| Months Supply of Inventory      | 1.0       | 3.0  | + 200.0% | —            | —           | —        |

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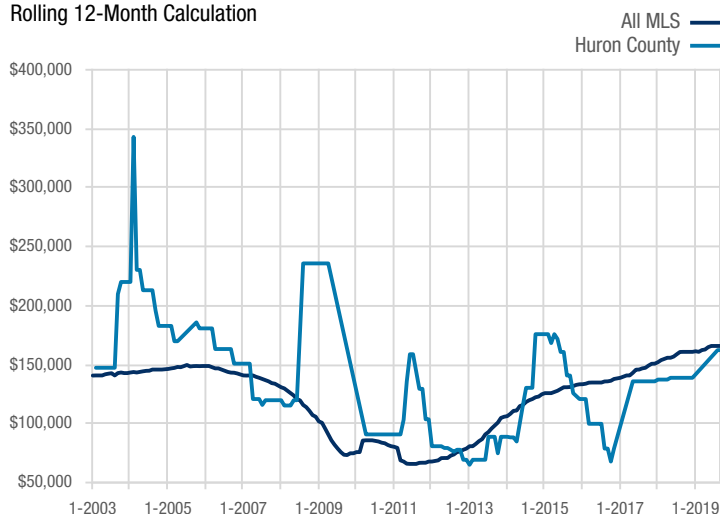
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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# Local Market Update – September 2019

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## Jackson County

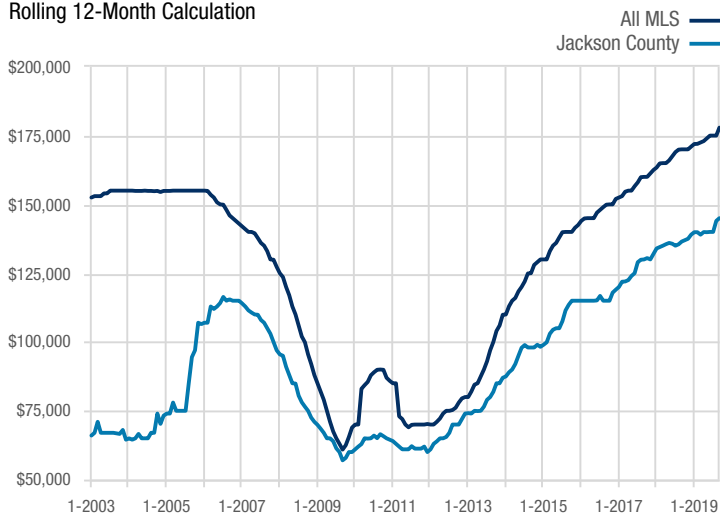
| Residential                     | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 280       | 265       | - 5.4%   | 2,429        | 2,317       | - 4.6%   |
| Pending Sales                   | 169       | 64        | - 62.1%  | 1,763        | 1,537       | - 12.8%  |
| Closed Sales                    | 181       | 168       | - 7.2%   | 1,700        | 1,655       | - 2.6%   |
| Days on Market Until Sale       | 62        | 69        | + 11.3%  | 75           | 73          | - 2.7%   |
| Median Sales Price*             | \$139,000 | \$156,000 | + 12.2%  | \$137,000    | \$145,000   | + 5.8%   |
| Average Sales Price*            | \$154,571 | \$182,583 | + 18.1%  | \$152,996    | \$164,521   | + 7.5%   |
| Percent of List Price Received* | 97.0%     | 98.5%     | + 1.5%   | 97.1%        | 97.5%       | + 0.4%   |
| Inventory of Homes for Sale     | 671       | 796       | + 18.6%  | —            | —           | —        |
| Months Supply of Inventory      | 3.6       | 4.7       | + 30.6%  | —            | —           | —        |

| Condo                           | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 12        | 8         | - 33.3%  | 61           | 76          | + 24.6%  |
| Pending Sales                   | 6         | 0         | - 100.0% | 40           | 55          | + 37.5%  |
| Closed Sales                    | 1         | 6         | + 500.0% | 27           | 66          | + 144.4% |
| Days on Market Until Sale       | 35        | 49        | + 40.0%  | 38           | 82          | + 115.8% |
| Median Sales Price*             | \$112,400 | \$275,000 | + 144.7% | \$185,000    | \$152,078   | - 17.8%  |
| Average Sales Price*            | \$112,400 | \$237,523 | + 111.3% | \$188,905    | \$167,550   | - 11.3%  |
| Percent of List Price Received* | 102.3%    | 97.1%     | - 5.1%   | 97.9%        | 97.3%       | - 0.6%   |
| Inventory of Homes for Sale     | 30        | 21        | - 30.0%  | —            | —           | —        |
| Months Supply of Inventory      | 6.9       | 3.0       | - 56.5%  | —            | —           | —        |

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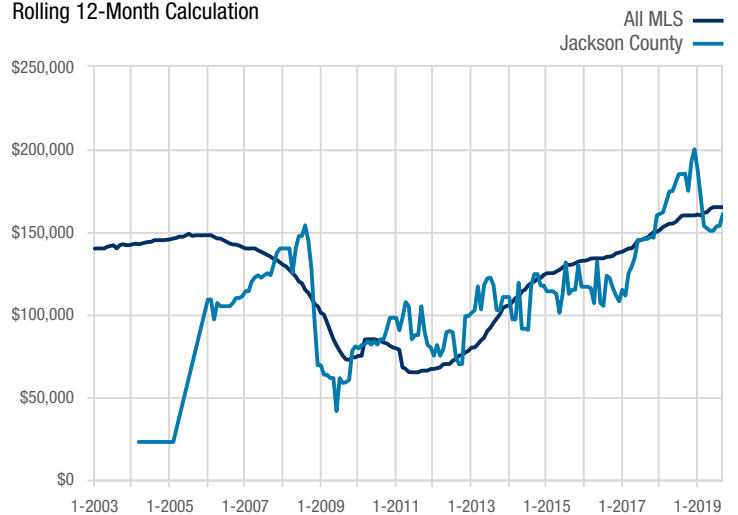
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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# Local Market Update – September 2019

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## Lapeer County

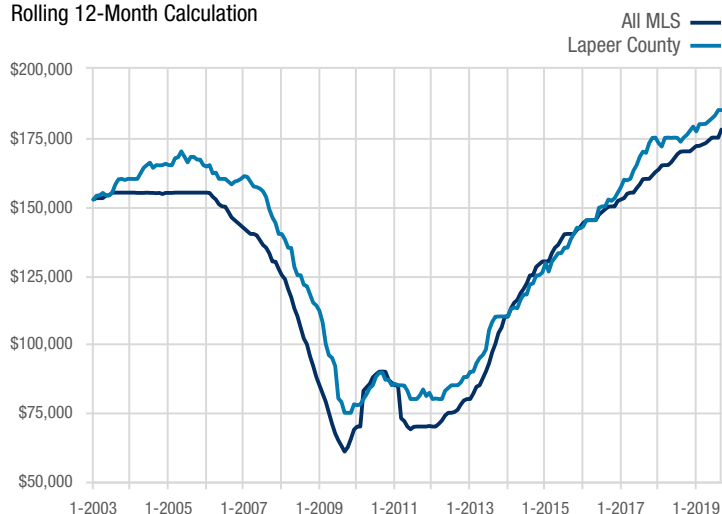
| Residential                     | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 155       | 148       | - 4.5%   | 1,382        | 1,503       | + 8.8%   |
| Pending Sales                   | 99        | 127       | + 28.3%  | 894          | 990         | + 10.7%  |
| Closed Sales                    | 114       | 114       | 0.0%     | 849          | 880         | + 3.7%   |
| Days on Market Until Sale       | 46        | 44        | - 4.3%   | 46           | 45          | - 2.2%   |
| Median Sales Price*             | \$182,000 | \$183,750 | + 1.0%   | \$176,000    | \$184,925   | + 5.1%   |
| Average Sales Price*            | \$206,665 | \$202,392 | - 2.1%   | \$202,712    | \$211,011   | + 4.1%   |
| Percent of List Price Received* | 97.3%     | 97.4%     | + 0.1%   | 97.8%        | 97.9%       | + 0.1%   |
| Inventory of Homes for Sale     | 512       | 430       | - 16.0%  | —            | —           | —        |
| Months Supply of Inventory      | 5.4       | 4.3       | - 20.4%  | —            | —           | —        |

| Condo                           | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 3         | 3         | 0.0%     | 39           | 48          | + 23.1%  |
| Pending Sales                   | 3         | 4         | + 33.3%  | 30           | 26          | - 13.3%  |
| Closed Sales                    | 4         | 3         | - 25.0%  | 24           | 22          | - 8.3%   |
| Days on Market Until Sale       | 68        | 51        | - 25.0%  | 65           | 39          | - 40.0%  |
| Median Sales Price*             | \$104,750 | \$215,000 | + 105.3% | \$177,450    | \$170,000   | - 4.2%   |
| Average Sales Price*            | \$122,475 | \$200,800 | + 64.0%  | \$159,217    | \$154,930   | - 2.7%   |
| Percent of List Price Received* | 98.8%     | 98.8%     | 0.0%     | 96.8%        | 96.5%       | - 0.3%   |
| Inventory of Homes for Sale     | 14        | 25        | + 78.6%  | —            | —           | —        |
| Months Supply of Inventory      | 4.8       | 8.9       | + 85.4%  | —            | —           | —        |

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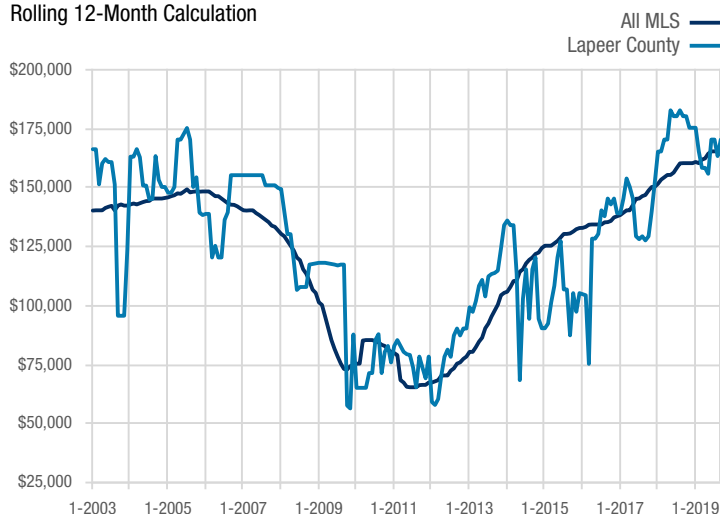
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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# Local Market Update – September 2019

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## Lenawee County

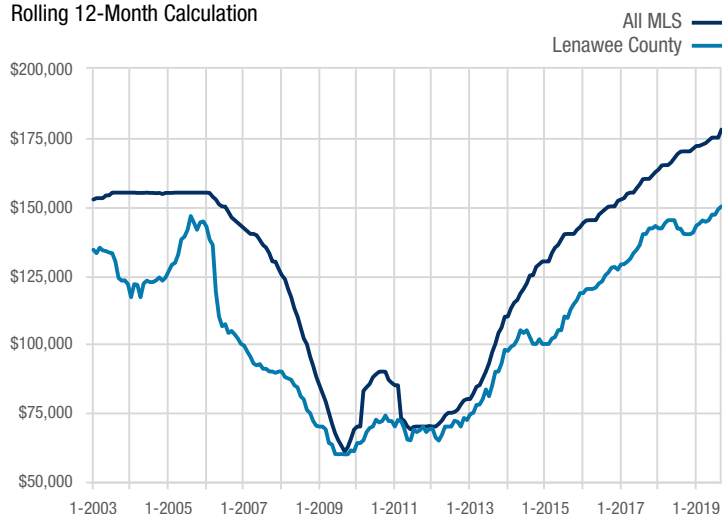
| Residential                     | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 127       | 152       | + 19.7%  | 1,335        | 1,397       | + 4.6%   |
| Pending Sales                   | 108       | 84        | - 22.2%  | 1,005        | 982         | - 2.3%   |
| Closed Sales                    | 112       | 112       | 0.0%     | 949          | 995         | + 4.8%   |
| Days on Market Until Sale       | 76        | 64        | - 15.8%  | 79           | 75          | - 5.1%   |
| Median Sales Price*             | \$139,950 | \$159,450 | + 13.9%  | \$140,000    | \$152,000   | + 8.6%   |
| Average Sales Price*            | \$158,505 | \$180,602 | + 13.9%  | \$162,612    | \$171,876   | + 5.7%   |
| Percent of List Price Received* | 97.0%     | 97.8%     | + 0.8%   | 97.3%        | 97.4%       | + 0.1%   |
| Inventory of Homes for Sale     | 447       | 491       | + 9.8%   | —            | —           | —        |
| Months Supply of Inventory      | 4.2       | 4.7       | + 11.9%  | —            | —           | —        |

| Condo                           | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 2         | 3         | + 50.0%  | 35           | 45          | + 28.6%  |
| Pending Sales                   | 2         | 1         | - 50.0%  | 35           | 39          | + 11.4%  |
| Closed Sales                    | 1         | 5         | + 400.0% | 34           | 41          | + 20.6%  |
| Days on Market Until Sale       | 27        | 43        | + 59.3%  | 84           | 86          | + 2.4%   |
| Median Sales Price*             | \$145,000 | \$192,400 | + 32.7%  | \$162,250    | \$185,000   | + 14.0%  |
| Average Sales Price*            | \$145,000 | \$188,906 | + 30.3%  | \$171,636    | \$178,370   | + 3.9%   |
| Percent of List Price Received* | 98.0%     | 101.5%    | + 3.6%   | 101.3%       | 99.4%       | - 1.9%   |
| Inventory of Homes for Sale     | 8         | 12        | + 50.0%  | —            | —           | —        |
| Months Supply of Inventory      | 2.1       | 3.1       | + 47.6%  | —            | —           | —        |

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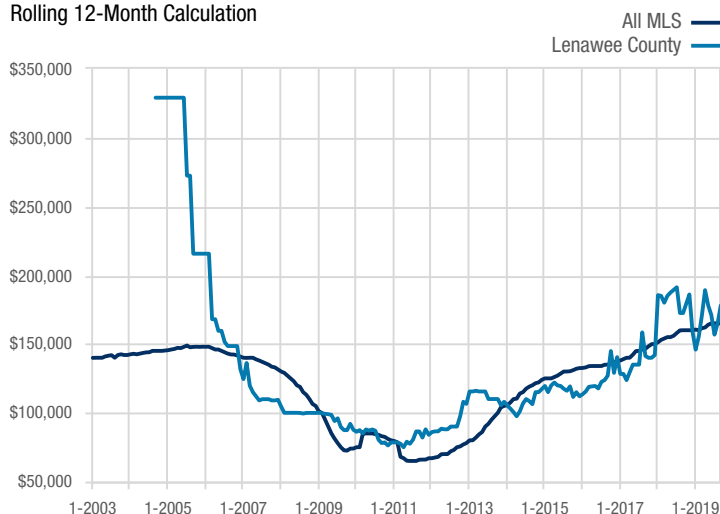
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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# Local Market Update – September 2019

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## Livingston County

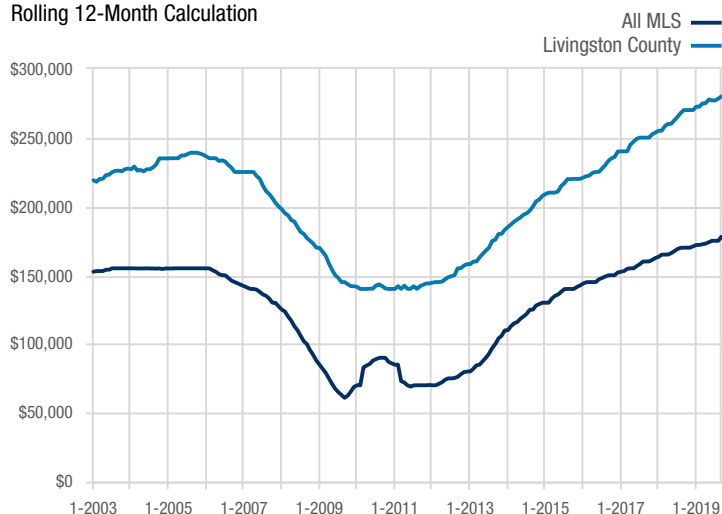
| Residential                     | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 365       | 367       | + 0.5%   | 3,487        | 3,473       | - 0.4%   |
| Pending Sales                   | 223       | 238       | + 6.7%   | 2,188        | 2,278       | + 4.1%   |
| Closed Sales                    | 249       | 257       | + 3.2%   | 2,045        | 2,136       | + 4.4%   |
| Days on Market Until Sale       | 34        | 37        | + 8.8%   | 35           | 39          | + 11.4%  |
| Median Sales Price*             | \$274,900 | \$297,500 | + 8.2%   | \$272,900    | \$286,300   | + 4.9%   |
| Average Sales Price*            | \$287,664 | \$321,210 | + 11.7%  | \$295,099    | \$313,451   | + 6.2%   |
| Percent of List Price Received* | 98.1%     | 98.4%     | + 0.3%   | 98.7%        | 98.6%       | - 0.1%   |
| Inventory of Homes for Sale     | 1,001     | 757       | - 24.4%  | —            | —           | —        |
| Months Supply of Inventory      | 4.4       | 3.2       | - 27.3%  | —            | —           | —        |

| Condo                           | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 46        | 59        | + 28.3%  | 447          | 439         | - 1.8%   |
| Pending Sales                   | 38        | 39        | + 2.6%   | 308          | 313         | + 1.6%   |
| Closed Sales                    | 36        | 36        | 0.0%     | 278          | 295         | + 6.1%   |
| Days on Market Until Sale       | 32        | 31        | - 3.1%   | 29           | 38          | + 31.0%  |
| Median Sales Price*             | \$259,900 | \$213,750 | - 17.8%  | \$189,450    | \$199,900   | + 5.5%   |
| Average Sales Price*            | \$260,172 | \$221,815 | - 14.7%  | \$210,935    | \$214,472   | + 1.7%   |
| Percent of List Price Received* | 99.0%     | 98.6%     | - 0.4%   | 99.3%        | 98.4%       | - 0.9%   |
| Inventory of Homes for Sale     | 116       | 107       | - 7.8%   | —            | —           | —        |
| Months Supply of Inventory      | 3.7       | 3.3       | - 10.8%  | —            | —           | —        |

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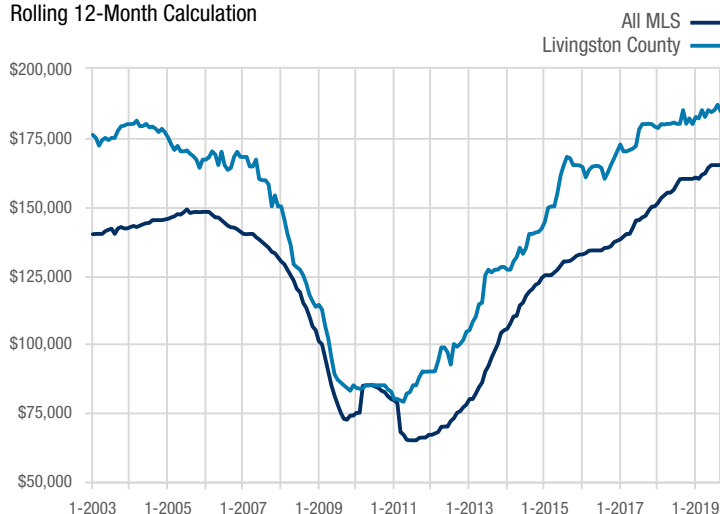
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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## Macomb County

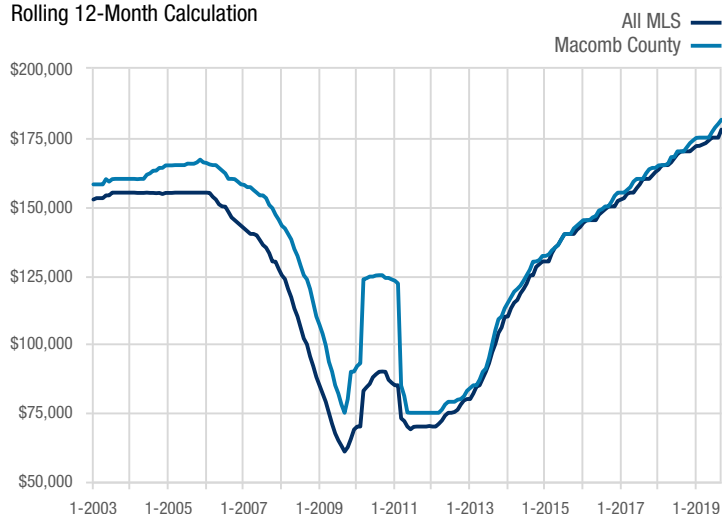
| Residential                     | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 1,433     | 1,422     | - 0.8%   | 12,323       | 12,717      | + 3.2%   |
| Pending Sales                   | 899       | 998       | + 11.0%  | 8,433        | 8,879       | + 5.3%   |
| Closed Sales                    | 928       | 964       | + 3.9%   | 8,103        | 8,270       | + 2.1%   |
| Days on Market Until Sale       | 24        | 30        | + 25.0%  | 29           | 33          | + 13.8%  |
| Median Sales Price*             | \$180,000 | \$190,000 | + 5.6%   | \$173,000    | \$185,000   | + 6.9%   |
| Average Sales Price*            | \$201,496 | \$218,850 | + 8.6%   | \$197,944    | \$209,447   | + 5.8%   |
| Percent of List Price Received* | 98.1%     | 97.9%     | - 0.2%   | 98.2%        | 97.9%       | - 0.3%   |
| Inventory of Homes for Sale     | 2,985     | 2,501     | - 16.2%  | —            | —           | —        |
| Months Supply of Inventory      | 3.3       | 2.7       | - 18.2%  | —            | —           | —        |

| Condo                           | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 323       | 367       | + 13.6%  | 3,073        | 3,068       | - 0.2%   |
| Pending Sales                   | 234       | 257       | + 9.8%   | 2,380        | 2,242       | - 5.8%   |
| Closed Sales                    | 284       | 247       | - 13.0%  | 2,231        | 2,133       | - 4.4%   |
| Days on Market Until Sale       | 27        | 31        | + 14.8%  | 26           | 32          | + 23.1%  |
| Median Sales Price*             | \$131,250 | \$145,000 | + 10.5%  | \$138,000    | \$145,000   | + 5.1%   |
| Average Sales Price*            | \$140,829 | \$153,137 | + 8.7%   | \$143,606    | \$150,977   | + 5.1%   |
| Percent of List Price Received* | 97.1%     | 97.3%     | + 0.2%   | 97.6%        | 97.3%       | - 0.3%   |
| Inventory of Homes for Sale     | 571       | 567       | - 0.7%   | —            | —           | —        |
| Months Supply of Inventory      | 2.3       | 2.4       | + 4.3%   | —            | —           | —        |

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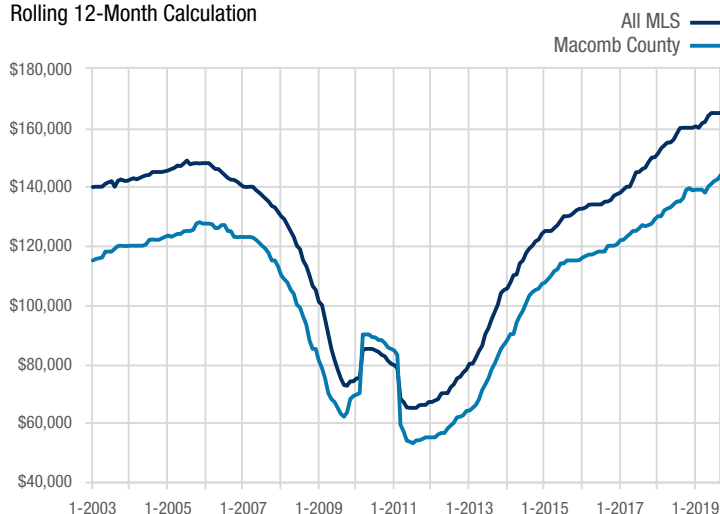
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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## Monroe County

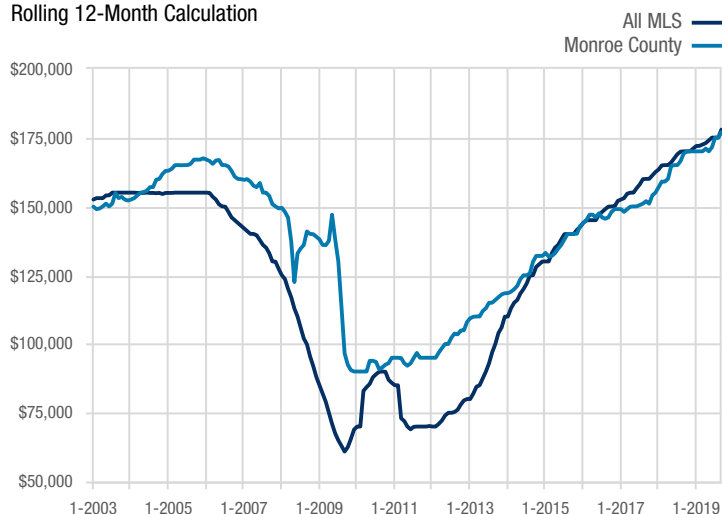
| Residential                     | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 188       | 198       | + 5.3%   | 1,943        | 1,867       | - 3.9%   |
| Pending Sales                   | 151       | 157       | + 4.0%   | 1,452        | 1,471       | + 1.3%   |
| Closed Sales                    | 152       | 169       | + 11.2%  | 1,382        | 1,394       | + 0.9%   |
| Days on Market Until Sale       | 74        | 52        | - 29.7%  | 80           | 60          | - 25.0%  |
| Median Sales Price*             | \$178,000 | \$190,504 | + 7.0%   | \$170,000    | \$179,900   | + 5.8%   |
| Average Sales Price*            | \$189,120 | \$200,077 | + 5.8%   | \$184,394    | \$188,760   | + 2.4%   |
| Percent of List Price Received* | 97.7%     | 97.7%     | 0.0%     | 97.6%        | 97.6%       | 0.0%     |
| Inventory of Homes for Sale     | 677       | 494       | - 27.0%  | —            | —           | —        |
| Months Supply of Inventory      | 4.4       | 3.2       | - 27.3%  | —            | —           | —        |

| Condo                           | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 9         | 8         | - 11.1%  | 79           | 80          | + 1.3%   |
| Pending Sales                   | 5         | 9         | + 80.0%  | 59           | 68          | + 15.3%  |
| Closed Sales                    | 7         | 14        | + 100.0% | 57           | 74          | + 29.8%  |
| Days on Market Until Sale       | 102       | 61        | - 40.2%  | 80           | 67          | - 16.3%  |
| Median Sales Price*             | \$175,000 | \$146,000 | - 16.6%  | \$139,900    | \$143,750   | + 2.8%   |
| Average Sales Price*            | \$165,329 | \$178,707 | + 8.1%   | \$159,911    | \$163,418   | + 2.2%   |
| Percent of List Price Received* | 95.8%     | 98.3%     | + 2.6%   | 96.6%        | 97.5%       | + 0.9%   |
| Inventory of Homes for Sale     | 28        | 20        | - 28.6%  | —            | —           | —        |
| Months Supply of Inventory      | 4.5       | 2.7       | - 40.0%  | —            | —           | —        |

\* Does not account for sale concessions and/or downpayment assistance. | Percent changes are calculated using rounded figures and can sometimes look extreme due to small sample size.

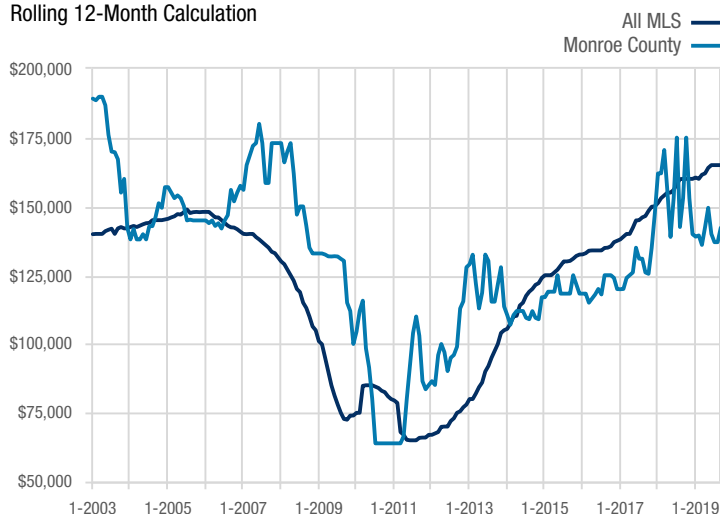
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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# Local Market Update – September 2019

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## Oakland County

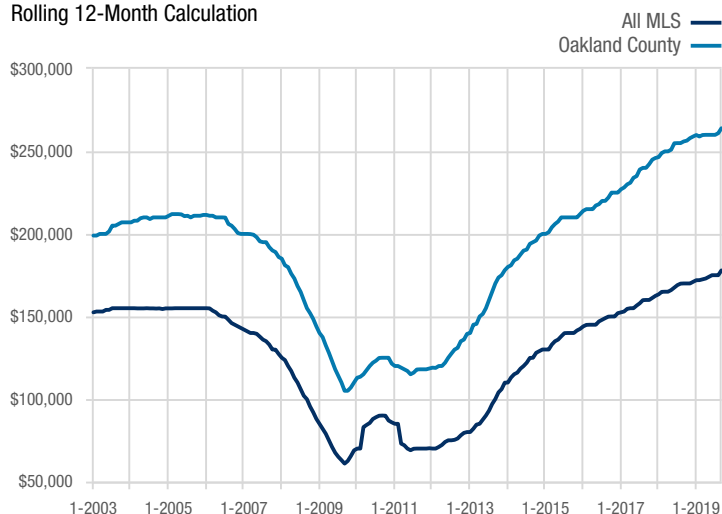
| Residential                     | September |                  |          | Year to Date |                  |          |
|---------------------------------|-----------|------------------|----------|--------------|------------------|----------|
| Key Metrics                     | 2018      | 2019             | % Change | Thru 9-2018  | Thru 9-2019      | % Change |
| New Listings                    | 2,311     | <b>2,453</b>     | + 6.1%   | 21,764       | <b>22,225</b>    | + 2.1%   |
| Pending Sales                   | 1,282     | <b>1,403</b>     | + 9.4%   | 13,069       | <b>13,255</b>    | + 1.4%   |
| Closed Sales                    | 1,394     | <b>1,526</b>     | + 9.5%   | 12,486       | <b>12,462</b>    | - 0.2%   |
| Days on Market Until Sale       | 27        | <b>33</b>        | + 22.2%  | 30           | <b>34</b>        | + 13.3%  |
| Median Sales Price*             | \$249,950 | <b>\$272,750</b> | + 9.1%   | \$260,000    | <b>\$267,500</b> | + 2.9%   |
| Average Sales Price*            | \$304,889 | <b>\$316,563</b> | + 3.8%   | \$311,252    | <b>\$319,000</b> | + 2.5%   |
| Percent of List Price Received* | 98.0%     | <b>97.7%</b>     | - 0.3%   | 98.4%        | <b>98.0%</b>     | - 0.4%   |
| Inventory of Homes for Sale     | 5,576     | <b>4,728</b>     | - 15.2%  | —            | —                | —        |
| Months Supply of Inventory      | 4.1       | <b>3.5</b>       | - 14.6%  | —            | —                | —        |

| Condo                           | September |                  |          | Year to Date |                  |          |
|---------------------------------|-----------|------------------|----------|--------------|------------------|----------|
| Key Metrics                     | 2018      | 2019             | % Change | Thru 9-2018  | Thru 9-2019      | % Change |
| New Listings                    | 439       | <b>476</b>       | + 8.4%   | 3,847        | <b>4,055</b>     | + 5.4%   |
| Pending Sales                   | 235       | <b>294</b>       | + 25.1%  | 2,757        | <b>2,598</b>     | - 5.8%   |
| Closed Sales                    | 290       | <b>258</b>       | - 11.0%  | 2,608        | <b>2,473</b>     | - 5.2%   |
| Days on Market Until Sale       | 21        | <b>36</b>        | + 71.4%  | 29           | <b>35</b>        | + 20.7%  |
| Median Sales Price*             | \$174,900 | <b>\$190,000</b> | + 8.6%   | \$182,500    | <b>\$186,000</b> | + 1.9%   |
| Average Sales Price*            | \$195,034 | <b>\$216,437</b> | + 11.0%  | \$213,115    | <b>\$229,975</b> | + 7.9%   |
| Percent of List Price Received* | 98.0%     | <b>97.8%</b>     | - 0.2%   | 98.1%        | <b>97.6%</b>     | - 0.5%   |
| Inventory of Homes for Sale     | 800       | <b>815</b>       | + 1.9%   | —            | —                | —        |
| Months Supply of Inventory      | 2.8       | <b>3.0</b>       | + 7.1%   | —            | —                | —        |

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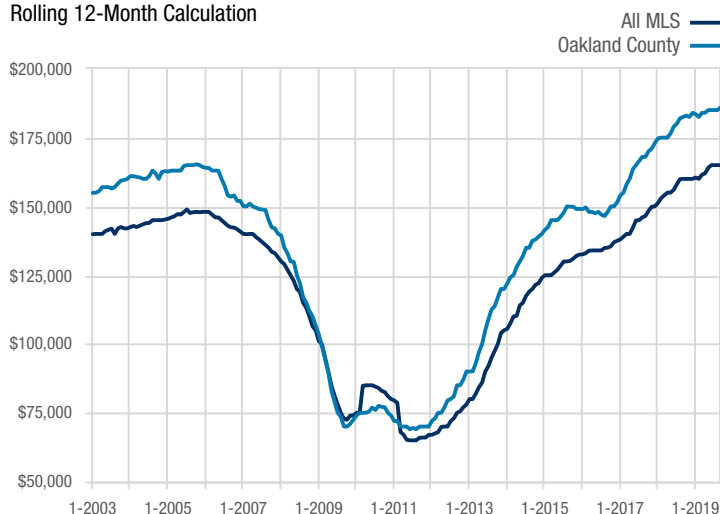
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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# Local Market Update – September 2019

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## Sanilac County

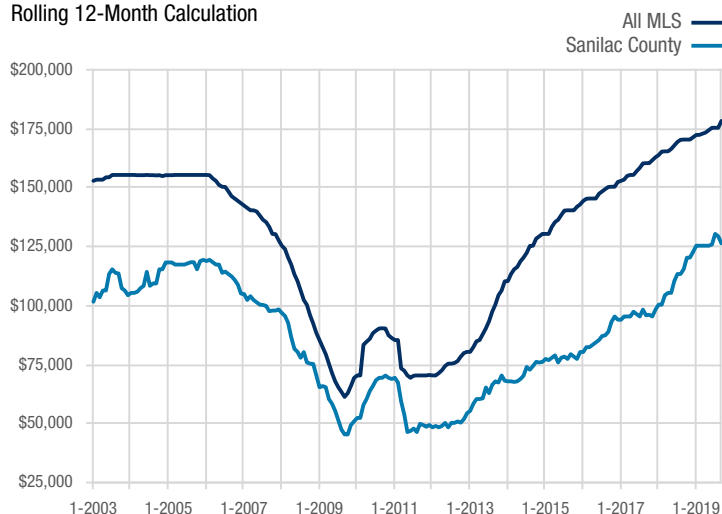
| Residential                     | September |                  |          | Year to Date |                  |          |
|---------------------------------|-----------|------------------|----------|--------------|------------------|----------|
| Key Metrics                     | 2018      | 2019             | % Change | Thru 9-2018  | Thru 9-2019      | % Change |
| New Listings                    | 56        | 45               | - 19.6%  | 540          | 458              | - 15.2%  |
| Pending Sales                   | 52        | 31               | - 40.4%  | 325          | 284              | - 12.6%  |
| Closed Sales                    | 46        | 37               | - 19.6%  | 291          | 260              | - 10.7%  |
| Days on Market Until Sale       | 79        | 82               | + 3.8%   | 77           | 95               | + 23.4%  |
| Median Sales Price*             | \$138,500 | <b>\$119,900</b> | - 13.4%  | \$119,700    | <b>\$125,000</b> | + 4.4%   |
| Average Sales Price*            | \$158,411 | <b>\$137,719</b> | - 13.1%  | \$147,273    | <b>\$154,666</b> | + 5.0%   |
| Percent of List Price Received* | 93.0%     | <b>94.3%</b>     | + 1.4%   | 95.3%        | <b>94.4%</b>     | - 0.9%   |
| Inventory of Homes for Sale     | 239       | 216              | - 9.6%   | —            | —                | —        |
| Months Supply of Inventory      | 7.1       | 7.1              | 0.0%     | —            | —                | —        |

| Condo                           | September |                  |          | Year to Date |                  |          |
|---------------------------------|-----------|------------------|----------|--------------|------------------|----------|
| Key Metrics                     | 2018      | 2019             | % Change | Thru 9-2018  | Thru 9-2019      | % Change |
| New Listings                    | 0         | 1                | —        | 13           | 11               | - 15.4%  |
| Pending Sales                   | 0         | 1                | —        | 13           | 6                | - 53.8%  |
| Closed Sales                    | 1         | 2                | + 100.0% | 13           | 6                | - 53.8%  |
| Days on Market Until Sale       | 115       | 47               | - 59.1%  | 78           | 42               | - 46.2%  |
| Median Sales Price*             | \$275,000 | <b>\$212,450</b> | - 22.7%  | \$156,000    | <b>\$178,075</b> | + 14.2%  |
| Average Sales Price*            | \$275,000 | <b>\$212,450</b> | - 22.7%  | \$138,140    | <b>\$175,692</b> | + 27.2%  |
| Percent of List Price Received* | 93.2%     | <b>95.9%</b>     | + 2.9%   | 94.1%        | <b>93.4%</b>     | - 0.7%   |
| Inventory of Homes for Sale     | 2         | 4                | + 100.0% | —            | —                | —        |
| Months Supply of Inventory      | 0.8       | 4.0              | + 400.0% | —            | —                | —        |

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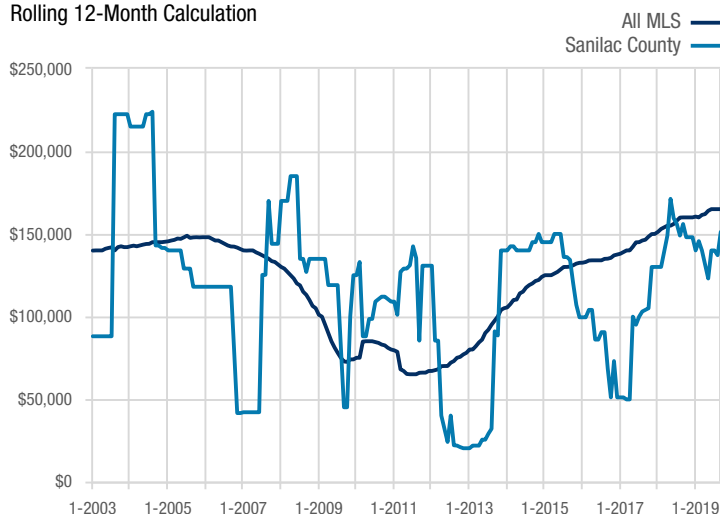
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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# Local Market Update – September 2019

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## St. Clair County

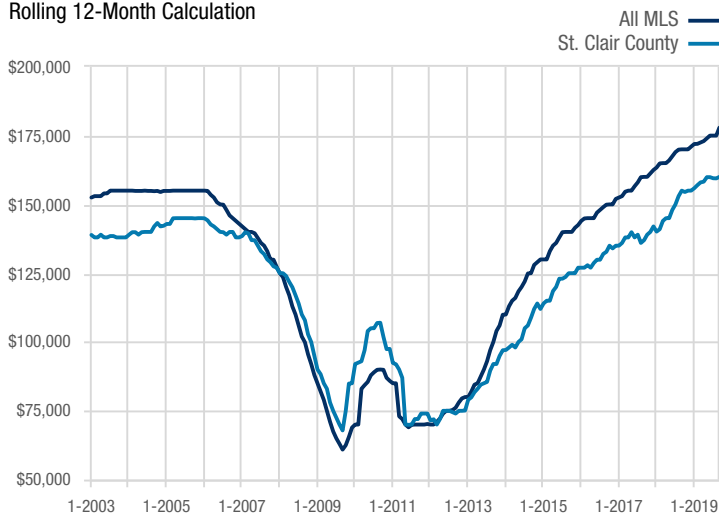
| Residential                     | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 250       | 264       | + 5.6%   | 2,457        | 2,324       | - 5.4%   |
| Pending Sales                   | 188       | 193       | + 2.7%   | 1,765        | 1,661       | - 5.9%   |
| Closed Sales                    | 217       | 198       | - 8.8%   | 1,677        | 1,527       | - 8.9%   |
| Days on Market Until Sale       | 39        | 43        | + 10.3%  | 47           | 49          | + 4.3%   |
| Median Sales Price*             | \$159,000 | \$185,500 | + 16.7%  | \$155,000    | \$163,000   | + 5.2%   |
| Average Sales Price*            | \$184,551 | \$203,657 | + 10.4%  | \$180,113    | \$188,850   | + 4.9%   |
| Percent of List Price Received* | 96.6%     | 97.6%     | + 1.0%   | 97.3%        | 97.4%       | + 0.1%   |
| Inventory of Homes for Sale     | 745       | 625       | - 16.1%  | —            | —           | —        |
| Months Supply of Inventory      | 4.1       | 3.6       | - 12.2%  | —            | —           | —        |

| Condo                           | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 13        | 16        | + 23.1%  | 115          | 131         | + 13.9%  |
| Pending Sales                   | 10        | 14        | + 40.0%  | 94           | 104         | + 10.6%  |
| Closed Sales                    | 16        | 10        | - 37.5%  | 88           | 92          | + 4.5%   |
| Days on Market Until Sale       | 44        | 27        | - 38.6%  | 34           | 37          | + 8.8%   |
| Median Sales Price*             | \$134,000 | \$133,000 | - 0.7%   | \$126,000    | \$131,250   | + 4.2%   |
| Average Sales Price*            | \$146,513 | \$167,140 | + 14.1%  | \$141,505    | \$157,631   | + 11.4%  |
| Percent of List Price Received* | 96.1%     | 97.3%     | + 1.2%   | 97.8%        | 98.2%       | + 0.4%   |
| Inventory of Homes for Sale     | 28        | 27        | - 3.6%   | —            | —           | —        |
| Months Supply of Inventory      | 2.9       | 2.5       | - 13.8%  | —            | —           | —        |

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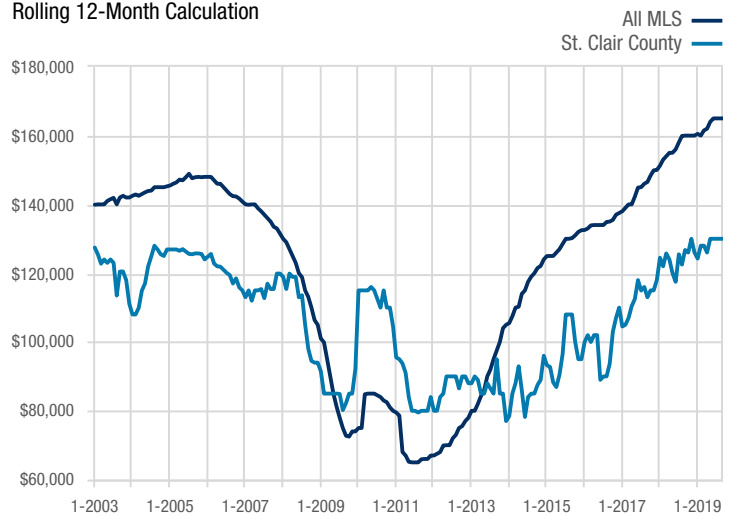
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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# Local Market Update – September 2019

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## Tuscola County

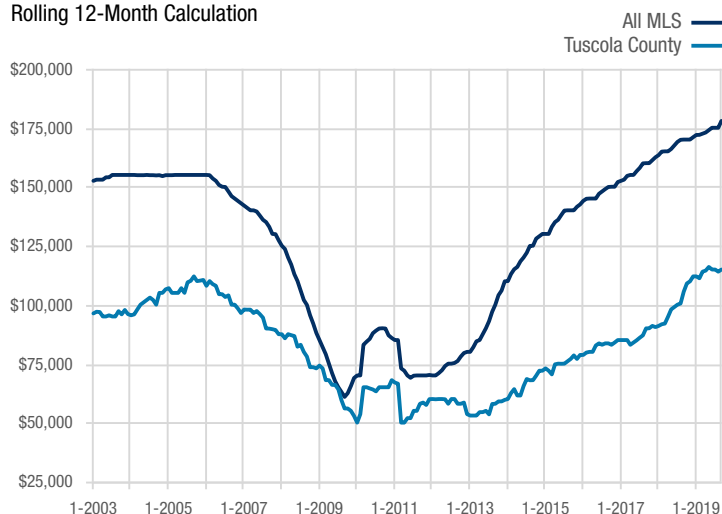
| Residential                     | September |                  |          | Year to Date |                  |          |
|---------------------------------|-----------|------------------|----------|--------------|------------------|----------|
| Key Metrics                     | 2018      | 2019             | % Change | Thru 9-2018  | Thru 9-2019      | % Change |
| New Listings                    | 52        | 56               | + 7.7%   | 390          | 432              | + 10.8%  |
| Pending Sales                   | 32        | 33               | + 3.1%   | 280          | 312              | + 11.4%  |
| Closed Sales                    | 28        | 41               | + 46.4%  | 264          | 303              | + 14.8%  |
| Days on Market Until Sale       | 45        | 57               | + 26.7%  | 56           | 58               | + 3.6%   |
| Median Sales Price*             | \$127,950 | <b>\$135,000</b> | + 5.5%   | \$111,750    | <b>\$115,500</b> | + 3.4%   |
| Average Sales Price*            | \$115,899 | <b>\$139,035</b> | + 20.0%  | \$117,101    | <b>\$125,892</b> | + 7.5%   |
| Percent of List Price Received* | 96.2%     | <b>97.2%</b>     | + 1.0%   | 97.4%        | <b>97.1%</b>     | - 0.3%   |
| Inventory of Homes for Sale     | 165       | <b>143</b>       | - 13.3%  | —            | —                | —        |
| Months Supply of Inventory      | 5.6       | <b>4.3</b>       | - 23.2%  | —            | —                | —        |

| Condo                           | September |                 |          | Year to Date |                 |          |
|---------------------------------|-----------|-----------------|----------|--------------|-----------------|----------|
| Key Metrics                     | 2018      | 2019            | % Change | Thru 9-2018  | Thru 9-2019     | % Change |
| New Listings                    | 2         | 0               | - 100.0% | 4            | 1               | - 75.0%  |
| Pending Sales                   | 0         | 1               | —        | 0            | 2               | —        |
| Closed Sales                    | 0         | 1               | —        | 0            | 2               | —        |
| Days on Market Until Sale       | —         | 86              | —        | —            | 111             | —        |
| Median Sales Price*             | —         | <b>\$53,000</b> | —        | —            | <b>\$94,000</b> | —        |
| Average Sales Price*            | —         | <b>\$53,000</b> | —        | —            | <b>\$94,000</b> | —        |
| Percent of List Price Received* | —         | <b>81.7%</b>    | —        | —            | <b>89.1%</b>    | —        |
| Inventory of Homes for Sale     | 4         | 0               | - 100.0% | —            | —               | —        |
| Months Supply of Inventory      | —         | —               | —        | —            | —               | —        |

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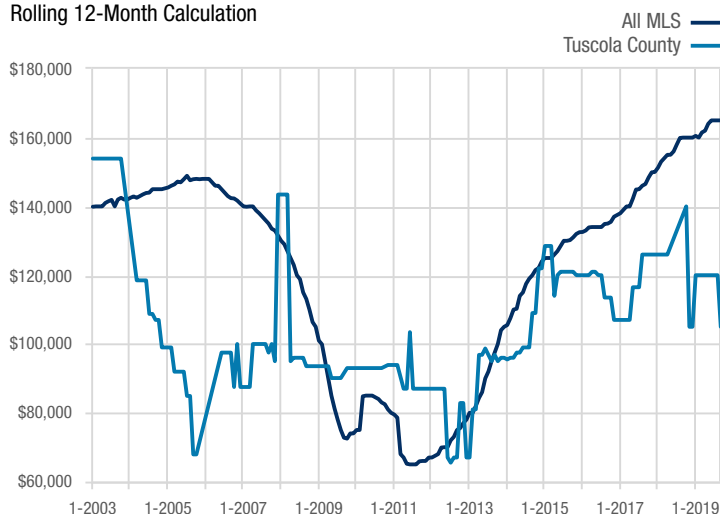
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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## Washtenaw County

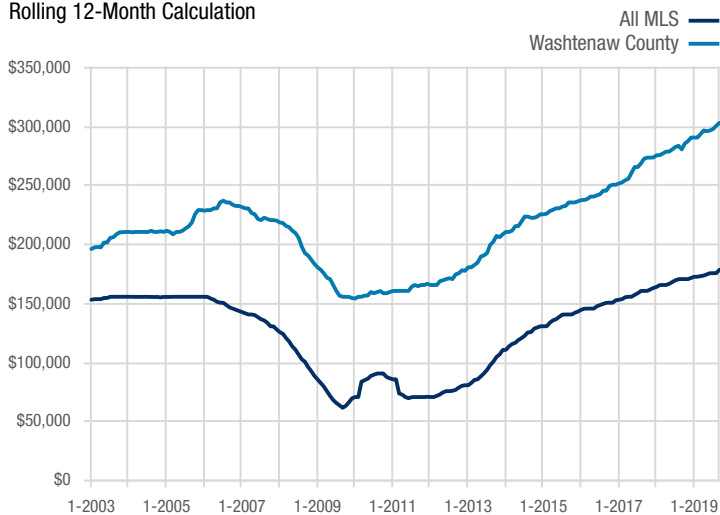
| Residential                     | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 395       | 419       | + 6.1%   | 4,002        | 4,285       | + 7.1%   |
| Pending Sales                   | 257       | 274       | + 6.6%   | 2,786        | 2,793       | + 0.3%   |
| Closed Sales                    | 275       | 310       | + 12.7%  | 2,724        | 2,728       | + 0.1%   |
| Days on Market Until Sale       | 26        | 34        | + 30.8%  | 31           | 34          | + 9.7%   |
| Median Sales Price*             | \$266,000 | \$306,000 | + 15.0%  | \$295,000    | \$310,000   | + 5.1%   |
| Average Sales Price*            | \$316,012 | \$346,344 | + 9.6%   | \$339,152    | \$349,510   | + 3.1%   |
| Percent of List Price Received* | 98.9%     | 98.4%     | - 0.5%   | 99.6%        | 99.0%       | - 0.6%   |
| Inventory of Homes for Sale     | 1,114     | 1,211     | + 8.7%   | —            | —           | —        |
| Months Supply of Inventory      | 3.7       | 4.1       | + 10.8%  | —            | —           | —        |

| Condo                           | September |           |          | Year to Date |             |          |
|---------------------------------|-----------|-----------|----------|--------------|-------------|----------|
| Key Metrics                     | 2018      | 2019      | % Change | Thru 9-2018  | Thru 9-2019 | % Change |
| New Listings                    | 86        | 120       | + 39.5%  | 1,021        | 1,120       | + 9.7%   |
| Pending Sales                   | 76        | 78        | + 2.6%   | 718          | 776         | + 8.1%   |
| Closed Sales                    | 83        | 78        | - 6.0%   | 707          | 776         | + 9.8%   |
| Days on Market Until Sale       | 44        | 39        | - 11.4%  | 29           | 43          | + 48.3%  |
| Median Sales Price*             | \$213,500 | \$203,500 | - 4.7%   | \$220,000    | \$222,000   | + 0.9%   |
| Average Sales Price*            | \$224,677 | \$242,251 | + 7.8%   | \$254,046    | \$265,823   | + 4.6%   |
| Percent of List Price Received* | 99.9%     | 98.9%     | - 1.0%   | 100.1%       | 99.2%       | - 0.9%   |
| Inventory of Homes for Sale     | 301       | 318       | + 5.6%   | —            | —           | —        |
| Months Supply of Inventory      | 3.9       | 3.9       | 0.0%     | —            | —           | —        |

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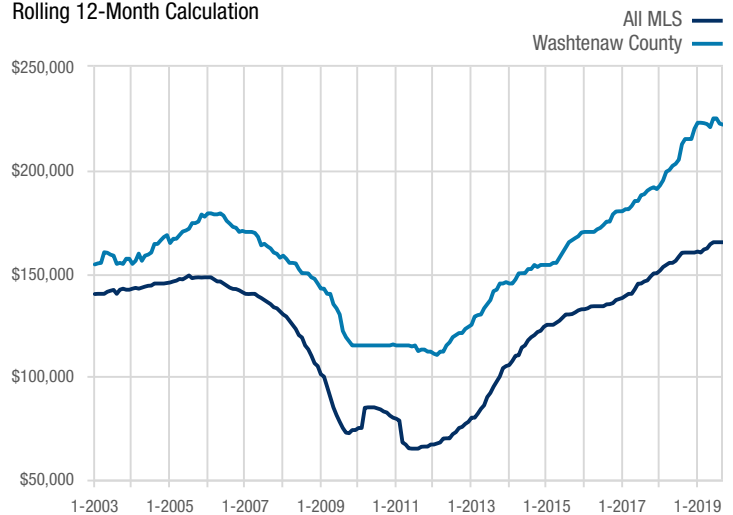
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



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# Local Market Update – September 2019

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## Wayne County

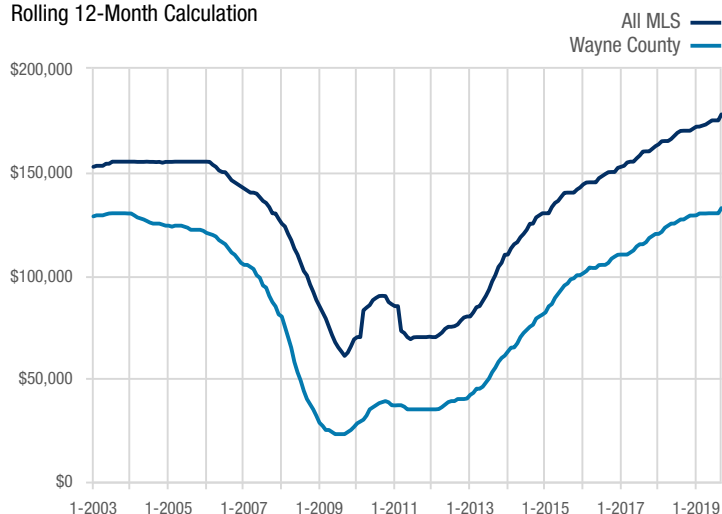
| Residential                     | September |                  |          | Year to Date |                  |          |
|---------------------------------|-----------|------------------|----------|--------------|------------------|----------|
| Key Metrics                     | 2018      | 2019             | % Change | Thru 9-2018  | Thru 9-2019      | % Change |
| New Listings                    | 2,601     | <b>2,527</b>     | - 2.8%   | 22,566       | <b>23,213</b>    | + 2.9%   |
| Pending Sales                   | 1,501     | <b>1,722</b>     | + 14.7%  | 14,580       | <b>14,815</b>    | + 1.6%   |
| Closed Sales                    | 1,611     | <b>1,658</b>     | + 2.9%   | 13,944       | <b>13,876</b>    | - 0.5%   |
| Days on Market Until Sale       | 28        | <b>32</b>        | + 14.3%  | 33           | <b>36</b>        | + 9.1%   |
| Median Sales Price*             | \$126,500 | <b>\$140,000</b> | + 10.7%  | \$129,900    | <b>\$135,000</b> | + 3.9%   |
| Average Sales Price*            | \$156,994 | <b>\$176,841</b> | + 12.6%  | \$161,237    | <b>\$168,628</b> | + 4.6%   |
| Percent of List Price Received* | 96.7%     | <b>96.5%</b>     | - 0.2%   | 97.0%        | <b>96.6%</b>     | - 0.4%   |
| Inventory of Homes for Sale     | 6,007     | <b>5,278</b>     | - 12.1%  | —            | —                | —        |
| Months Supply of Inventory      | 3.9       | <b>3.4</b>       | - 12.8%  | —            | —                | —        |

| Condo                           | September |                  |          | Year to Date |                  |          |
|---------------------------------|-----------|------------------|----------|--------------|------------------|----------|
| Key Metrics                     | 2018      | 2019             | % Change | Thru 9-2018  | Thru 9-2019      | % Change |
| New Listings                    | 272       | <b>345</b>       | + 26.8%  | 2,532        | <b>2,735</b>     | + 8.0%   |
| Pending Sales                   | 183       | <b>214</b>       | + 16.9%  | 1,790        | <b>1,814</b>     | + 1.3%   |
| Closed Sales                    | 191       | <b>177</b>       | - 7.3%   | 1,705        | <b>1,680</b>     | - 1.5%   |
| Days on Market Until Sale       | 24        | <b>27</b>        | + 12.5%  | 30           | <b>35</b>        | + 16.7%  |
| Median Sales Price*             | \$154,900 | <b>\$185,000</b> | + 19.4%  | \$158,000    | <b>\$165,000</b> | + 4.4%   |
| Average Sales Price*            | \$181,132 | <b>\$200,554</b> | + 10.7%  | \$182,530    | <b>\$194,317</b> | + 6.5%   |
| Percent of List Price Received* | 97.7%     | <b>97.4%</b>     | - 0.3%   | 97.8%        | <b>97.3%</b>     | - 0.5%   |
| Inventory of Homes for Sale     | 568       | <b>664</b>       | + 16.9%  | —            | —                | —        |
| Months Supply of Inventory      | 3.0       | <b>3.5</b>       | + 16.7%  | —            | —                | —        |

\* Does not account for sale concessions and/or downpayment assistance. | Percent changes are calculated using rounded figures and can sometimes look extreme due to small sample size.

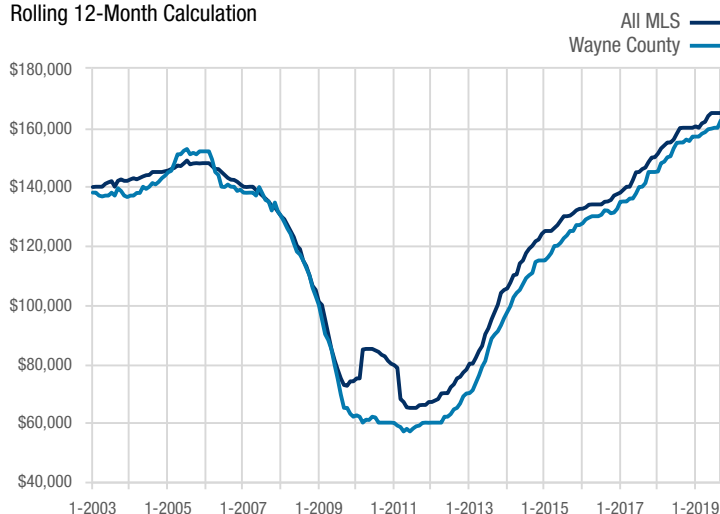
### Median Sales Price - Residential

Rolling 12-Month Calculation



### Median Sales Price - Condo

Rolling 12-Month Calculation



A rolling 12-month calculation represents the current month and the 11 months prior in a single data point. If no activity occurred during a month, the line extends to the next available data point.