



SINGLE-FAMILY REAL ESTATE MARKET STATISTICS

POWERED BY REALCOMP REALTORS®

SEPTEMBER 2019



Genesee County

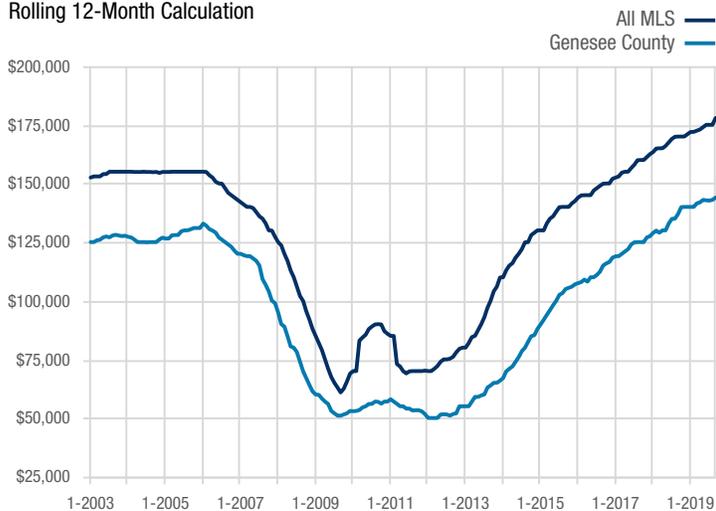
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	580	560	- 3.4%	5,389	5,557	+ 3.1%
Pending Sales	418	464	+ 11.0%	3,957	4,309	+ 8.9%
Closed Sales	403	442	+ 9.7%	3,721	4,091	+ 9.9%
Days on Market Until Sale	30	32	+ 6.7%	42	44	+ 4.8%
Median Sales Price*	\$146,750	\$149,950	+ 2.2%	\$140,000	\$145,000	+ 3.6%
Average Sales Price*	\$159,816	\$168,554	+ 5.5%	\$154,990	\$158,846	+ 2.5%
Percent of List Price Received*	98.0%	98.2%	+ 0.2%	97.5%	97.4%	- 0.1%
Inventory of Homes for Sale	2,669	1,317	- 50.7%	—	—	—
Months Supply of Inventory	6.4	2.9	- 54.7%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	64	70	+ 9.4%	546	532	- 2.6%
Pending Sales	41	56	+ 36.6%	415	405	- 2.4%
Closed Sales	46	42	- 8.7%	396	368	- 7.1%
Days on Market Until Sale	47	26	- 44.7%	36	47	+ 30.6%
Median Sales Price*	\$152,000	\$160,500	+ 5.6%	\$150,175	\$154,000	+ 2.5%
Average Sales Price*	\$142,758	\$169,376	+ 18.6%	\$150,841	\$153,595	+ 1.8%
Percent of List Price Received*	98.0%	98.8%	+ 0.8%	97.8%	97.9%	+ 0.1%
Inventory of Homes for Sale	218	137	- 37.2%	—	—	—
Months Supply of Inventory	5.1	3.3	- 35.3%	—	—	—

* Does not account for sale concessions and/or downpayment assistance. | Percent changes are calculated using rounded figures and can sometimes look extreme due to small sample size.

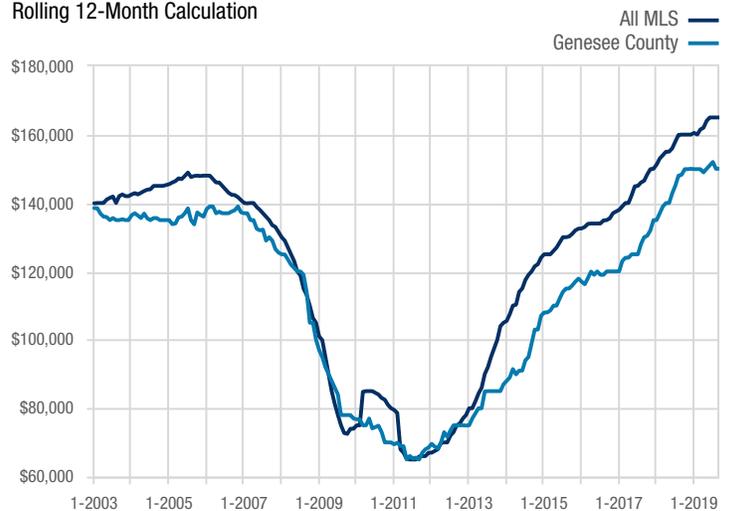
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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Huron County

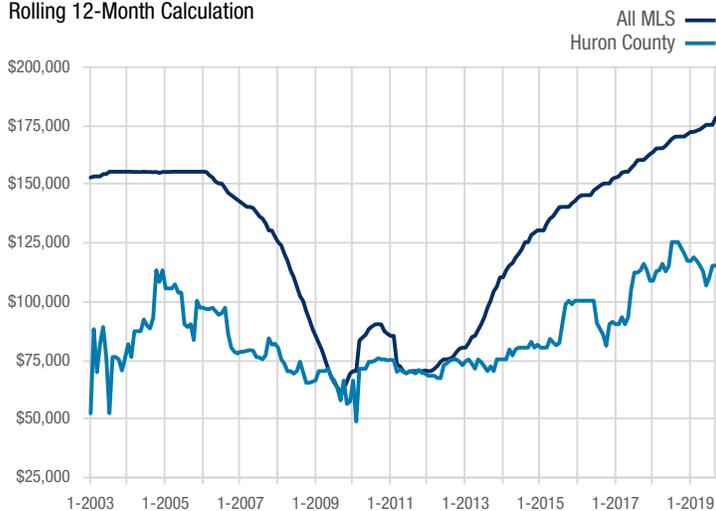
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	11	11	0.0%	127	168	+ 32.3%
Pending Sales	12	10	- 16.7%	71	103	+ 45.1%
Closed Sales	12	16	+ 33.3%	66	100	+ 51.5%
Days on Market Until Sale	145	91	- 37.2%	134	105	- 21.6%
Median Sales Price*	\$124,000	\$131,750	+ 6.3%	\$129,000	\$120,000	- 7.0%
Average Sales Price*	\$149,858	\$181,112	+ 20.9%	\$165,390	\$151,762	- 8.2%
Percent of List Price Received*	92.8%	93.8%	+ 1.1%	93.9%	93.9%	0.0%
Inventory of Homes for Sale	83	81	- 2.4%	—	—	—
Months Supply of Inventory	11.1	7.5	- 32.4%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	0	0	0.0%	0	4	—
Pending Sales	0	1	—	0	2	—
Closed Sales	0	0	0.0%	1	1	0.0%
Days on Market Until Sale	—	—	—	119	64	- 46.2%
Median Sales Price*	—	—	—	\$138,000	\$161,500	+ 17.0%
Average Sales Price*	—	—	—	\$138,000	\$161,500	+ 17.0%
Percent of List Price Received*	—	—	—	89.1%	95.6%	+ 7.3%
Inventory of Homes for Sale	1	3	+ 200.0%	—	—	—
Months Supply of Inventory	1.0	3.0	+ 200.0%	—	—	—

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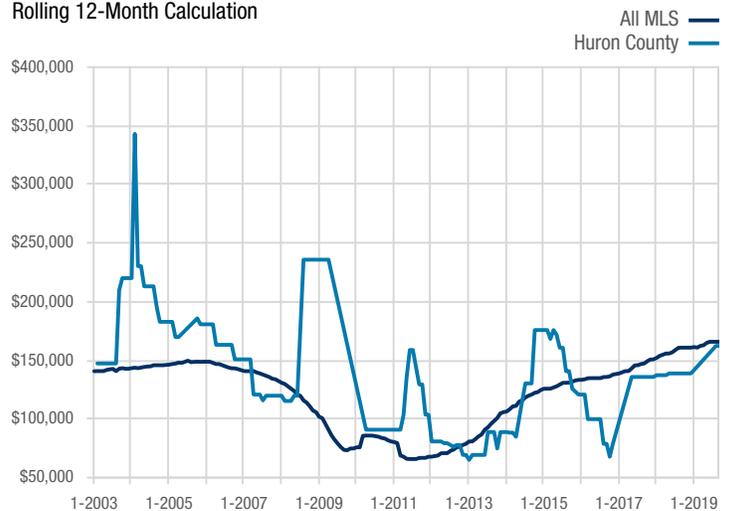
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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Jackson County

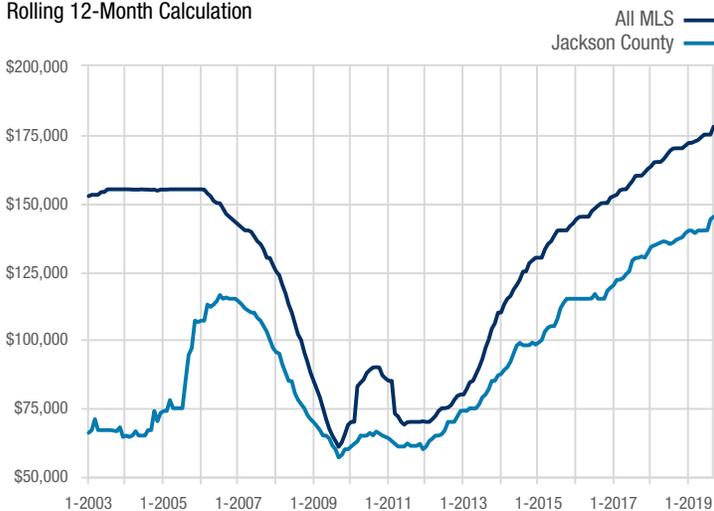
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	280	265	- 5.4%	2,429	2,317	- 4.6%
Pending Sales	169	64	- 62.1%	1,763	1,537	- 12.8%
Closed Sales	181	168	- 7.2%	1,700	1,655	- 2.6%
Days on Market Until Sale	62	69	+ 11.3%	75	73	- 2.7%
Median Sales Price*	\$139,000	\$156,000	+ 12.2%	\$137,000	\$145,000	+ 5.8%
Average Sales Price*	\$154,571	\$182,583	+ 18.1%	\$152,996	\$164,521	+ 7.5%
Percent of List Price Received*	97.0%	98.5%	+ 1.5%	97.1%	97.5%	+ 0.4%
Inventory of Homes for Sale	671	796	+ 18.6%	—	—	—
Months Supply of Inventory	3.6	4.7	+ 30.6%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	12	8	- 33.3%	61	76	+ 24.6%
Pending Sales	6	0	- 100.0%	40	55	+ 37.5%
Closed Sales	1	6	+ 500.0%	27	66	+ 144.4%
Days on Market Until Sale	35	49	+ 40.0%	38	82	+ 115.8%
Median Sales Price*	\$112,400	\$275,000	+ 144.7%	\$185,000	\$152,078	- 17.8%
Average Sales Price*	\$112,400	\$237,523	+ 111.3%	\$188,905	\$167,550	- 11.3%
Percent of List Price Received*	102.3%	97.1%	- 5.1%	97.9%	97.3%	- 0.6%
Inventory of Homes for Sale	30	21	- 30.0%	—	—	—
Months Supply of Inventory	6.9	3.0	- 56.5%	—	—	—

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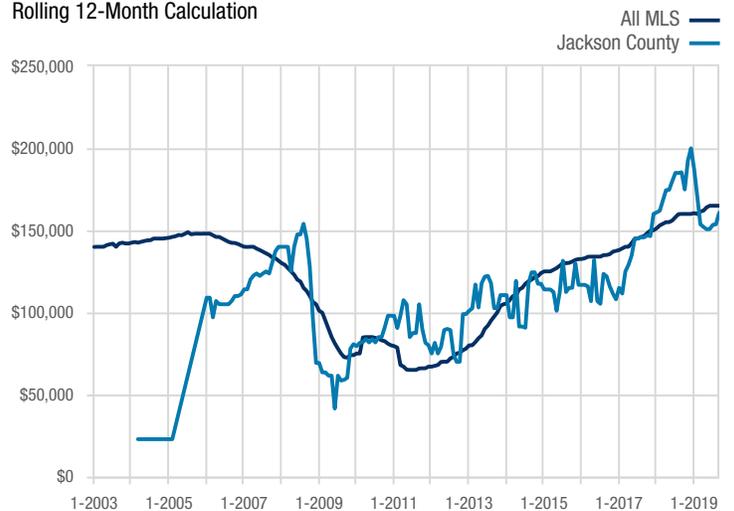
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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Lapeer County

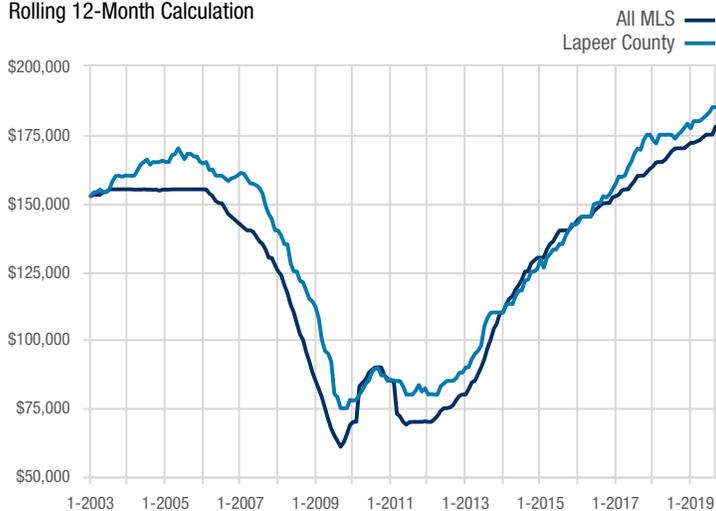
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	155	148	- 4.5%	1,382	1,503	+ 8.8%
Pending Sales	99	127	+ 28.3%	894	990	+ 10.7%
Closed Sales	114	114	0.0%	849	880	+ 3.7%
Days on Market Until Sale	46	44	- 4.3%	46	45	- 2.2%
Median Sales Price*	\$182,000	\$183,750	+ 1.0%	\$176,000	\$184,925	+ 5.1%
Average Sales Price*	\$206,665	\$202,392	- 2.1%	\$202,712	\$211,011	+ 4.1%
Percent of List Price Received*	97.3%	97.4%	+ 0.1%	97.8%	97.9%	+ 0.1%
Inventory of Homes for Sale	512	430	- 16.0%	—	—	—
Months Supply of Inventory	5.4	4.3	- 20.4%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	3	3	0.0%	39	48	+ 23.1%
Pending Sales	3	4	+ 33.3%	30	26	- 13.3%
Closed Sales	4	3	- 25.0%	24	22	- 8.3%
Days on Market Until Sale	68	51	- 25.0%	65	39	- 40.0%
Median Sales Price*	\$104,750	\$215,000	+ 105.3%	\$177,450	\$170,000	- 4.2%
Average Sales Price*	\$122,475	\$200,800	+ 64.0%	\$159,217	\$154,930	- 2.7%
Percent of List Price Received*	98.8%	98.8%	0.0%	96.8%	96.5%	- 0.3%
Inventory of Homes for Sale	14	25	+ 78.6%	—	—	—
Months Supply of Inventory	4.8	8.9	+ 85.4%	—	—	—

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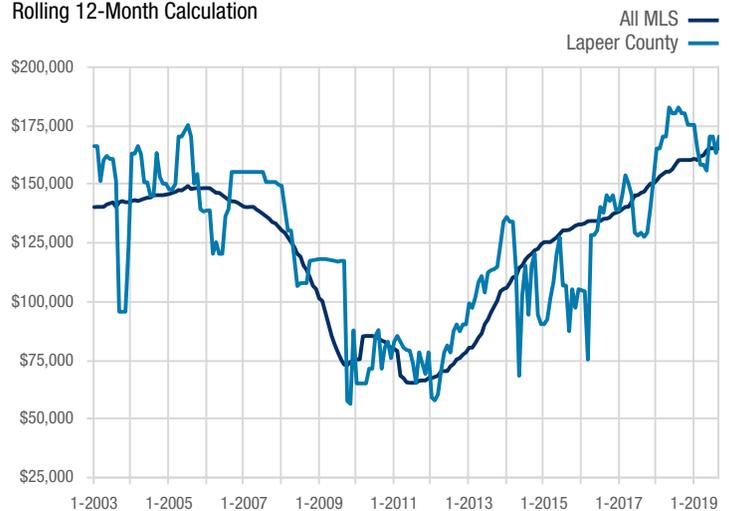
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

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Lenawee County

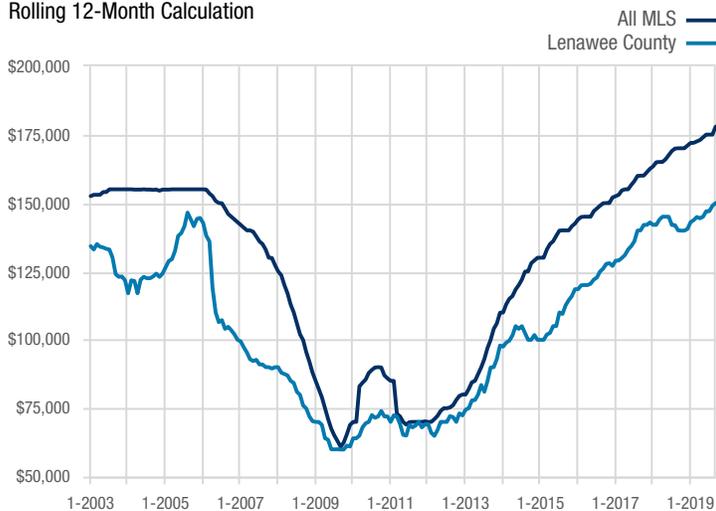
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	127	152	+ 19.7%	1,335	1,397	+ 4.6%
Pending Sales	108	84	- 22.2%	1,005	982	- 2.3%
Closed Sales	112	112	0.0%	949	995	+ 4.8%
Days on Market Until Sale	76	64	- 15.8%	79	75	- 5.1%
Median Sales Price*	\$139,950	\$159,450	+ 13.9%	\$140,000	\$152,000	+ 8.6%
Average Sales Price*	\$158,505	\$180,602	+ 13.9%	\$162,612	\$171,876	+ 5.7%
Percent of List Price Received*	97.0%	97.8%	+ 0.8%	97.3%	97.4%	+ 0.1%
Inventory of Homes for Sale	447	491	+ 9.8%	—	—	—
Months Supply of Inventory	4.2	4.7	+ 11.9%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	2	3	+ 50.0%	35	45	+ 28.6%
Pending Sales	2	1	- 50.0%	35	39	+ 11.4%
Closed Sales	1	5	+ 400.0%	34	41	+ 20.6%
Days on Market Until Sale	27	43	+ 59.3%	84	86	+ 2.4%
Median Sales Price*	\$145,000	\$192,400	+ 32.7%	\$162,250	\$185,000	+ 14.0%
Average Sales Price*	\$145,000	\$188,906	+ 30.3%	\$171,636	\$178,370	+ 3.9%
Percent of List Price Received*	98.0%	101.5%	+ 3.6%	101.3%	99.4%	- 1.9%
Inventory of Homes for Sale	8	12	+ 50.0%	—	—	—
Months Supply of Inventory	2.1	3.1	+ 47.6%	—	—	—

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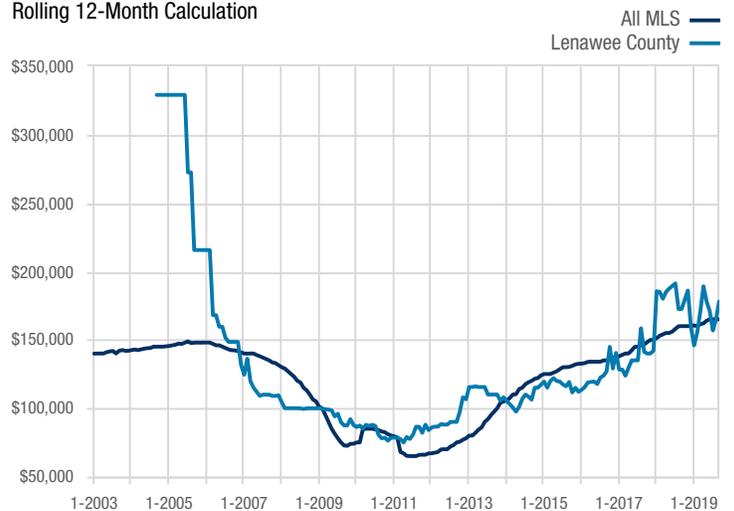
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

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Livingston County

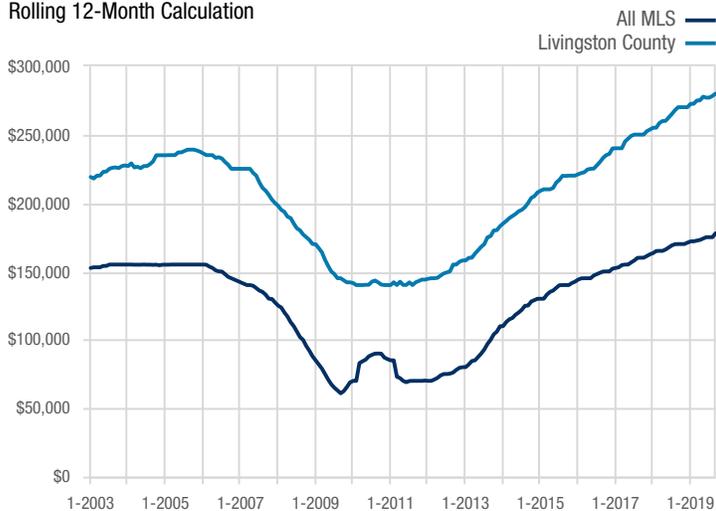
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	365	367	+ 0.5%	3,487	3,473	- 0.4%
Pending Sales	223	238	+ 6.7%	2,188	2,278	+ 4.1%
Closed Sales	249	257	+ 3.2%	2,045	2,136	+ 4.4%
Days on Market Until Sale	34	37	+ 8.8%	35	39	+ 11.4%
Median Sales Price*	\$274,900	\$297,500	+ 8.2%	\$272,900	\$286,300	+ 4.9%
Average Sales Price*	\$287,664	\$321,210	+ 11.7%	\$295,099	\$313,451	+ 6.2%
Percent of List Price Received*	98.1%	98.4%	+ 0.3%	98.7%	98.6%	- 0.1%
Inventory of Homes for Sale	1,001	757	- 24.4%	—	—	—
Months Supply of Inventory	4.4	3.2	- 27.3%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	46	59	+ 28.3%	447	439	- 1.8%
Pending Sales	38	39	+ 2.6%	308	313	+ 1.6%
Closed Sales	36	36	0.0%	278	295	+ 6.1%
Days on Market Until Sale	32	31	- 3.1%	29	38	+ 31.0%
Median Sales Price*	\$259,900	\$213,750	- 17.8%	\$189,450	\$199,900	+ 5.5%
Average Sales Price*	\$260,172	\$221,815	- 14.7%	\$210,935	\$214,472	+ 1.7%
Percent of List Price Received*	99.0%	98.6%	- 0.4%	99.3%	98.4%	- 0.9%
Inventory of Homes for Sale	116	107	- 7.8%	—	—	—
Months Supply of Inventory	3.7	3.3	- 10.8%	—	—	—

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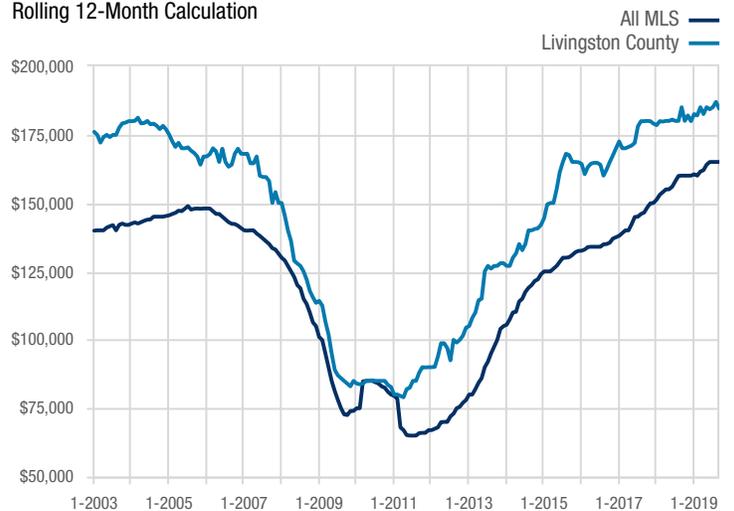
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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Macomb County

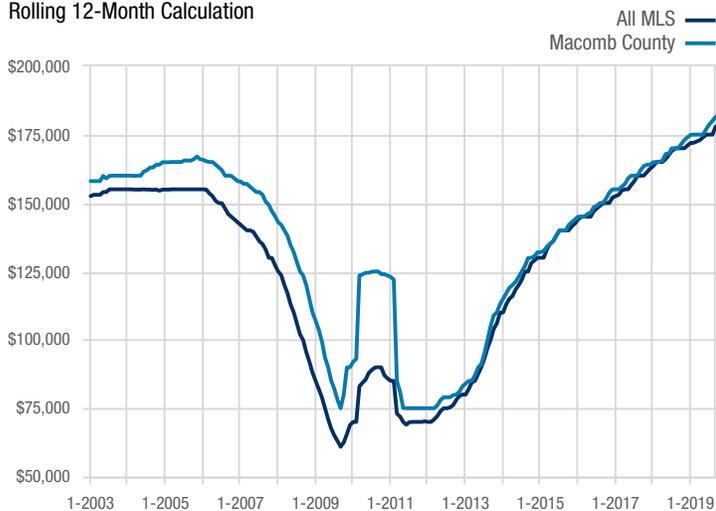
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	1,433	1,422	- 0.8%	12,323	12,717	+ 3.2%
Pending Sales	899	998	+ 11.0%	8,433	8,879	+ 5.3%
Closed Sales	928	964	+ 3.9%	8,103	8,270	+ 2.1%
Days on Market Until Sale	24	30	+ 25.0%	29	33	+ 13.8%
Median Sales Price*	\$180,000	\$190,000	+ 5.6%	\$173,000	\$185,000	+ 6.9%
Average Sales Price*	\$201,496	\$218,850	+ 8.6%	\$197,944	\$209,447	+ 5.8%
Percent of List Price Received*	98.1%	97.9%	- 0.2%	98.2%	97.9%	- 0.3%
Inventory of Homes for Sale	2,985	2,501	- 16.2%	—	—	—
Months Supply of Inventory	3.3	2.7	- 18.2%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	323	367	+ 13.6%	3,073	3,068	- 0.2%
Pending Sales	234	257	+ 9.8%	2,380	2,242	- 5.8%
Closed Sales	284	247	- 13.0%	2,231	2,133	- 4.4%
Days on Market Until Sale	27	31	+ 14.8%	26	32	+ 23.1%
Median Sales Price*	\$131,250	\$145,000	+ 10.5%	\$138,000	\$145,000	+ 5.1%
Average Sales Price*	\$140,829	\$153,137	+ 8.7%	\$143,606	\$150,977	+ 5.1%
Percent of List Price Received*	97.1%	97.3%	+ 0.2%	97.6%	97.3%	- 0.3%
Inventory of Homes for Sale	571	567	- 0.7%	—	—	—
Months Supply of Inventory	2.3	2.4	+ 4.3%	—	—	—

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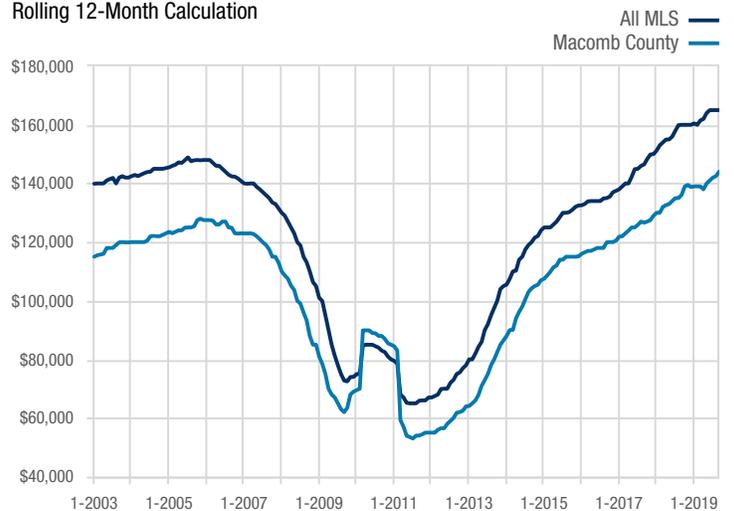
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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Monroe County

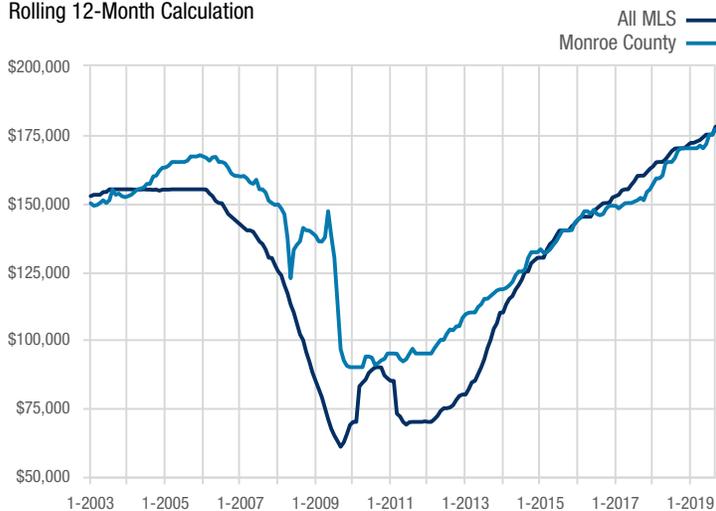
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	188	198	+ 5.3%	1,943	1,867	- 3.9%
Pending Sales	151	157	+ 4.0%	1,452	1,471	+ 1.3%
Closed Sales	152	169	+ 11.2%	1,382	1,394	+ 0.9%
Days on Market Until Sale	74	52	- 29.7%	80	60	- 25.0%
Median Sales Price*	\$178,000	\$190,504	+ 7.0%	\$170,000	\$179,900	+ 5.8%
Average Sales Price*	\$189,120	\$200,077	+ 5.8%	\$184,394	\$188,760	+ 2.4%
Percent of List Price Received*	97.7%	97.7%	0.0%	97.6%	97.6%	0.0%
Inventory of Homes for Sale	677	494	- 27.0%	—	—	—
Months Supply of Inventory	4.4	3.2	- 27.3%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	9	8	- 11.1%	79	80	+ 1.3%
Pending Sales	5	9	+ 80.0%	59	68	+ 15.3%
Closed Sales	7	14	+ 100.0%	57	74	+ 29.8%
Days on Market Until Sale	102	61	- 40.2%	80	67	- 16.3%
Median Sales Price*	\$175,000	\$146,000	- 16.6%	\$139,900	\$143,750	+ 2.8%
Average Sales Price*	\$165,329	\$178,707	+ 8.1%	\$159,911	\$163,418	+ 2.2%
Percent of List Price Received*	95.8%	98.3%	+ 2.6%	96.6%	97.5%	+ 0.9%
Inventory of Homes for Sale	28	20	- 28.6%	—	—	—
Months Supply of Inventory	4.5	2.7	- 40.0%	—	—	—

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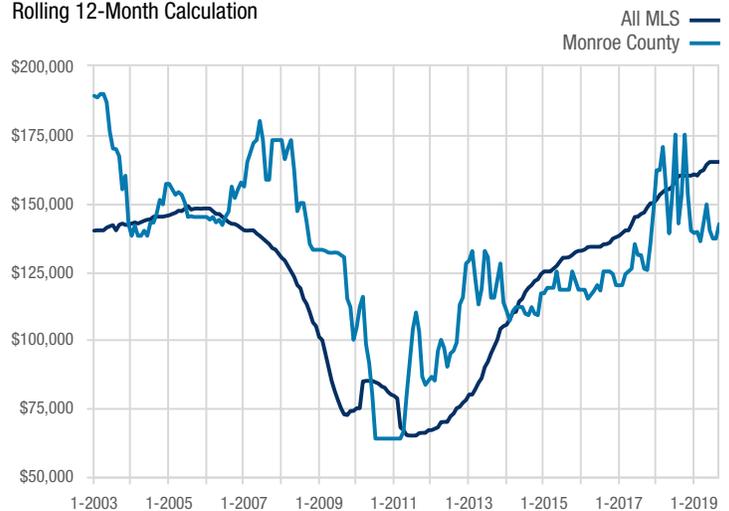
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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Oakland County

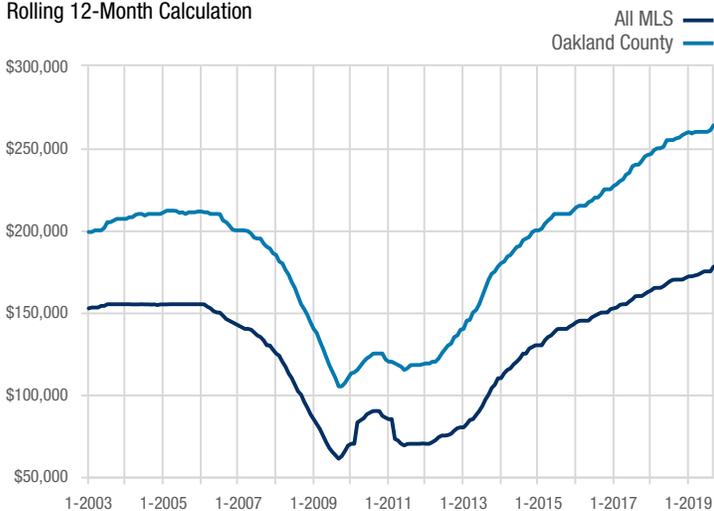
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	2,311	2,453	+ 6.1%	21,764	22,225	+ 2.1%
Pending Sales	1,282	1,403	+ 9.4%	13,069	13,255	+ 1.4%
Closed Sales	1,394	1,526	+ 9.5%	12,486	12,462	- 0.2%
Days on Market Until Sale	27	33	+ 22.2%	30	34	+ 13.3%
Median Sales Price*	\$249,950	\$272,750	+ 9.1%	\$260,000	\$267,500	+ 2.9%
Average Sales Price*	\$304,889	\$316,563	+ 3.8%	\$311,252	\$319,000	+ 2.5%
Percent of List Price Received*	98.0%	97.7%	- 0.3%	98.4%	98.0%	- 0.4%
Inventory of Homes for Sale	5,576	4,728	- 15.2%	—	—	—
Months Supply of Inventory	4.1	3.5	- 14.6%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	439	476	+ 8.4%	3,847	4,055	+ 5.4%
Pending Sales	235	294	+ 25.1%	2,757	2,598	- 5.8%
Closed Sales	290	258	- 11.0%	2,608	2,473	- 5.2%
Days on Market Until Sale	21	36	+ 71.4%	29	35	+ 20.7%
Median Sales Price*	\$174,900	\$190,000	+ 8.6%	\$182,500	\$186,000	+ 1.9%
Average Sales Price*	\$195,034	\$216,437	+ 11.0%	\$213,115	\$229,975	+ 7.9%
Percent of List Price Received*	98.0%	97.8%	- 0.2%	98.1%	97.6%	- 0.5%
Inventory of Homes for Sale	800	815	+ 1.9%	—	—	—
Months Supply of Inventory	2.8	3.0	+ 7.1%	—	—	—

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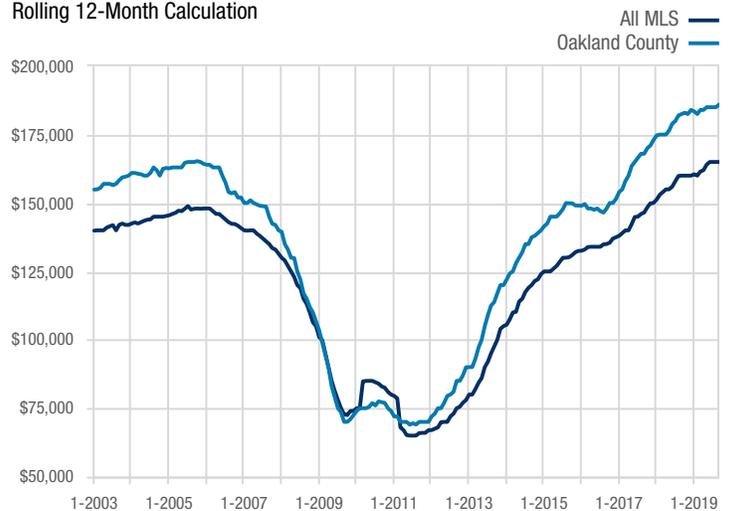
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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Sanilac County

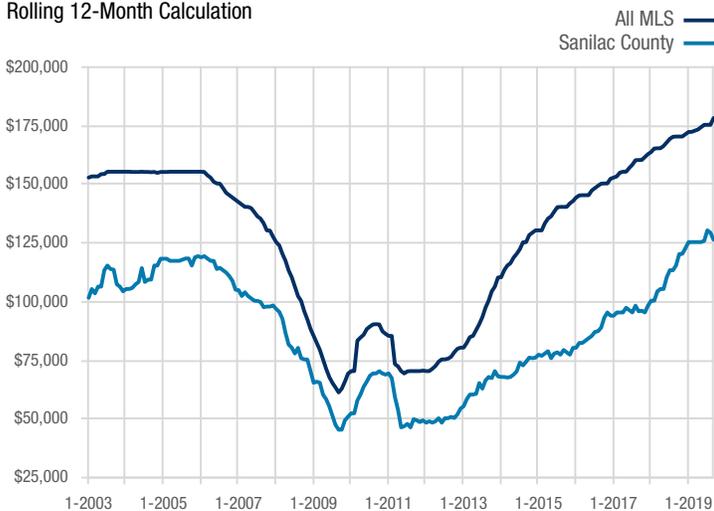
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	56	45	- 19.6%	540	458	- 15.2%
Pending Sales	52	31	- 40.4%	325	284	- 12.6%
Closed Sales	46	37	- 19.6%	291	260	- 10.7%
Days on Market Until Sale	79	82	+ 3.8%	77	95	+ 23.4%
Median Sales Price*	\$138,500	\$119,900	- 13.4%	\$119,700	\$125,000	+ 4.4%
Average Sales Price*	\$158,411	\$137,719	- 13.1%	\$147,273	\$154,666	+ 5.0%
Percent of List Price Received*	93.0%	94.3%	+ 1.4%	95.3%	94.4%	- 0.9%
Inventory of Homes for Sale	239	216	- 9.6%	—	—	—
Months Supply of Inventory	7.1	7.1	0.0%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	0	1	—	13	11	- 15.4%
Pending Sales	0	1	—	13	6	- 53.8%
Closed Sales	1	2	+ 100.0%	13	6	- 53.8%
Days on Market Until Sale	115	47	- 59.1%	78	42	- 46.2%
Median Sales Price*	\$275,000	\$212,450	- 22.7%	\$156,000	\$178,075	+ 14.2%
Average Sales Price*	\$275,000	\$212,450	- 22.7%	\$138,140	\$175,692	+ 27.2%
Percent of List Price Received*	93.2%	95.9%	+ 2.9%	94.1%	93.4%	- 0.7%
Inventory of Homes for Sale	2	4	+ 100.0%	—	—	—
Months Supply of Inventory	0.8	4.0	+ 400.0%	—	—	—

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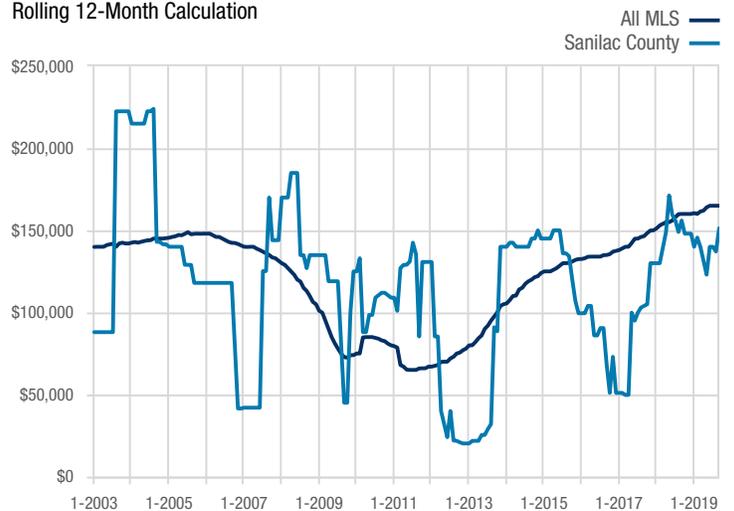
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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St. Clair County

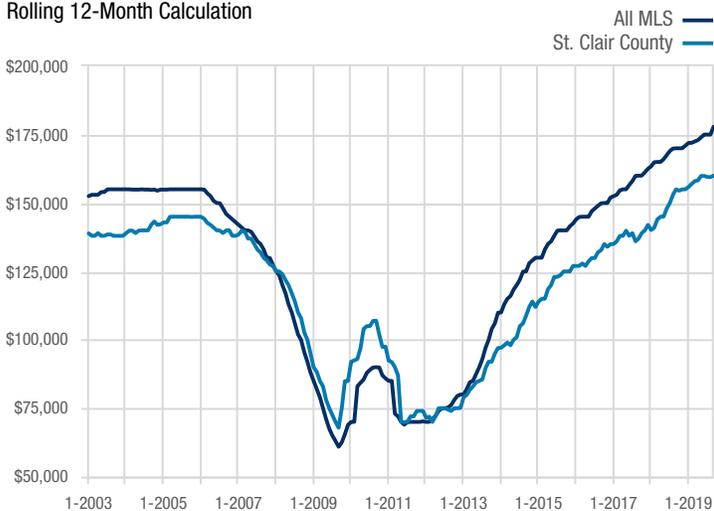
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	250	264	+ 5.6%	2,457	2,324	- 5.4%
Pending Sales	188	193	+ 2.7%	1,765	1,661	- 5.9%
Closed Sales	217	198	- 8.8%	1,677	1,527	- 8.9%
Days on Market Until Sale	39	43	+ 10.3%	47	49	+ 4.3%
Median Sales Price*	\$159,000	\$185,500	+ 16.7%	\$155,000	\$163,000	+ 5.2%
Average Sales Price*	\$184,551	\$203,657	+ 10.4%	\$180,113	\$188,850	+ 4.9%
Percent of List Price Received*	96.6%	97.6%	+ 1.0%	97.3%	97.4%	+ 0.1%
Inventory of Homes for Sale	745	625	- 16.1%	—	—	—
Months Supply of Inventory	4.1	3.6	- 12.2%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	13	16	+ 23.1%	115	131	+ 13.9%
Pending Sales	10	14	+ 40.0%	94	104	+ 10.6%
Closed Sales	16	10	- 37.5%	88	92	+ 4.5%
Days on Market Until Sale	44	27	- 38.6%	34	37	+ 8.8%
Median Sales Price*	\$134,000	\$133,000	- 0.7%	\$126,000	\$131,250	+ 4.2%
Average Sales Price*	\$146,513	\$167,140	+ 14.1%	\$141,505	\$157,631	+ 11.4%
Percent of List Price Received*	96.1%	97.3%	+ 1.2%	97.8%	98.2%	+ 0.4%
Inventory of Homes for Sale	28	27	- 3.6%	—	—	—
Months Supply of Inventory	2.9	2.5	- 13.8%	—	—	—

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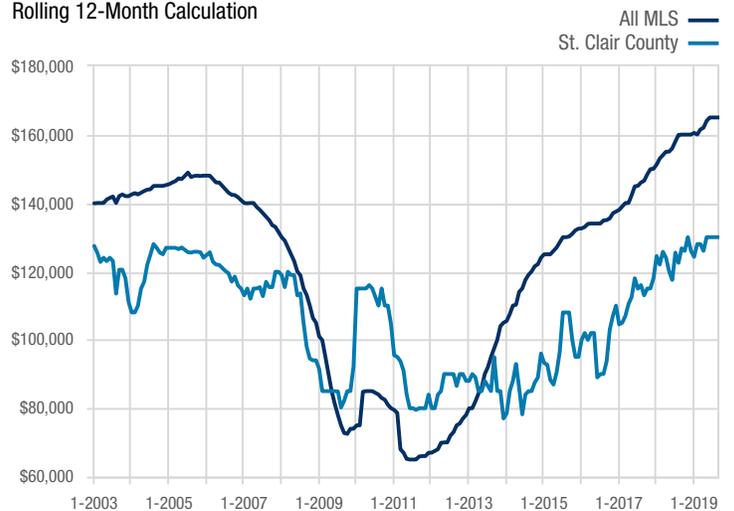
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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Tuscola County

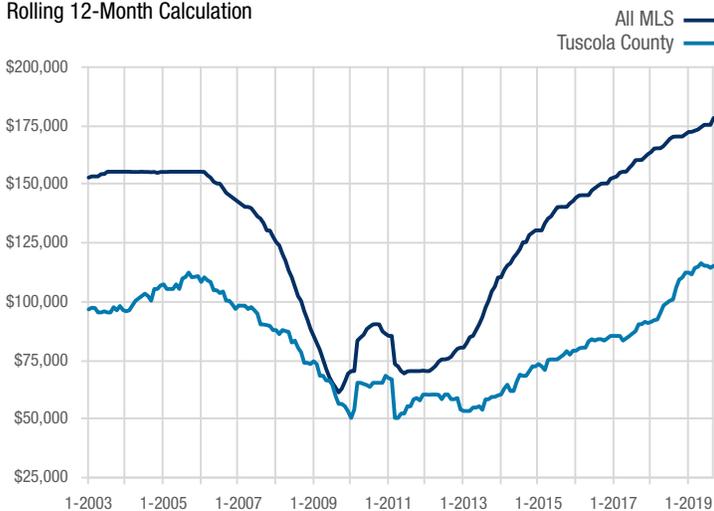
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	52	56	+ 7.7%	390	432	+ 10.8%
Pending Sales	32	33	+ 3.1%	280	312	+ 11.4%
Closed Sales	28	41	+ 46.4%	264	303	+ 14.8%
Days on Market Until Sale	45	57	+ 26.7%	56	58	+ 3.6%
Median Sales Price*	\$127,950	\$135,000	+ 5.5%	\$111,750	\$115,500	+ 3.4%
Average Sales Price*	\$115,899	\$139,035	+ 20.0%	\$117,101	\$125,892	+ 7.5%
Percent of List Price Received*	96.2%	97.2%	+ 1.0%	97.4%	97.1%	- 0.3%
Inventory of Homes for Sale	165	143	- 13.3%	—	—	—
Months Supply of Inventory	5.6	4.3	- 23.2%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	2	0	- 100.0%	4	1	- 75.0%
Pending Sales	0	1	—	0	2	—
Closed Sales	0	1	—	0	2	—
Days on Market Until Sale	—	86	—	—	111	—
Median Sales Price*	—	\$53,000	—	—	\$94,000	—
Average Sales Price*	—	\$53,000	—	—	\$94,000	—
Percent of List Price Received*	—	81.7%	—	—	89.1%	—
Inventory of Homes for Sale	4	0	- 100.0%	—	—	—
Months Supply of Inventory	—	—	—	—	—	—

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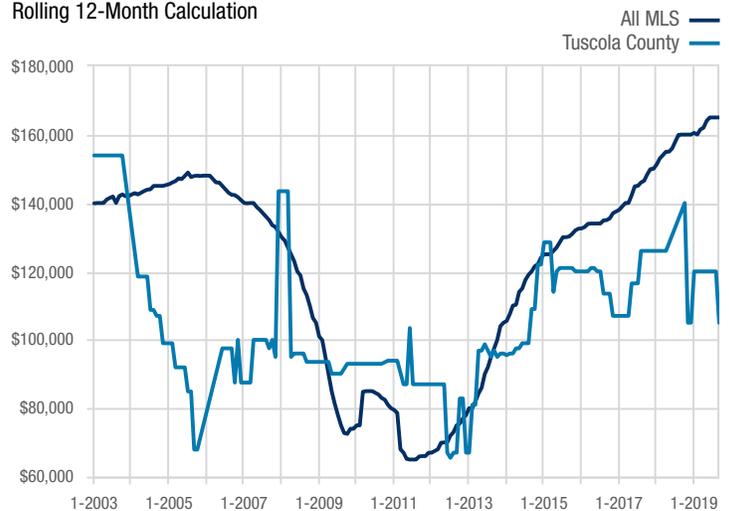
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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Washtenaw County

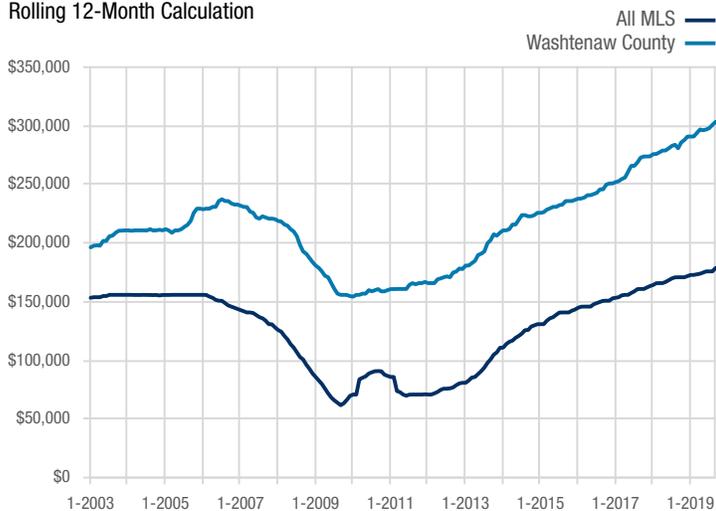
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	395	419	+ 6.1%	4,002	4,285	+ 7.1%
Pending Sales	257	274	+ 6.6%	2,786	2,793	+ 0.3%
Closed Sales	275	310	+ 12.7%	2,724	2,728	+ 0.1%
Days on Market Until Sale	26	34	+ 30.8%	31	34	+ 9.7%
Median Sales Price*	\$266,000	\$306,000	+ 15.0%	\$295,000	\$310,000	+ 5.1%
Average Sales Price*	\$316,012	\$346,344	+ 9.6%	\$339,152	\$349,510	+ 3.1%
Percent of List Price Received*	98.9%	98.4%	- 0.5%	99.6%	99.0%	- 0.6%
Inventory of Homes for Sale	1,114	1,211	+ 8.7%	—	—	—
Months Supply of Inventory	3.7	4.1	+ 10.8%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	86	120	+ 39.5%	1,021	1,120	+ 9.7%
Pending Sales	76	78	+ 2.6%	718	776	+ 8.1%
Closed Sales	83	78	- 6.0%	707	776	+ 9.8%
Days on Market Until Sale	44	39	- 11.4%	29	43	+ 48.3%
Median Sales Price*	\$213,500	\$203,500	- 4.7%	\$220,000	\$222,000	+ 0.9%
Average Sales Price*	\$224,677	\$242,251	+ 7.8%	\$254,046	\$265,823	+ 4.6%
Percent of List Price Received*	99.9%	98.9%	- 1.0%	100.1%	99.2%	- 0.9%
Inventory of Homes for Sale	301	318	+ 5.6%	—	—	—
Months Supply of Inventory	3.9	3.9	0.0%	—	—	—

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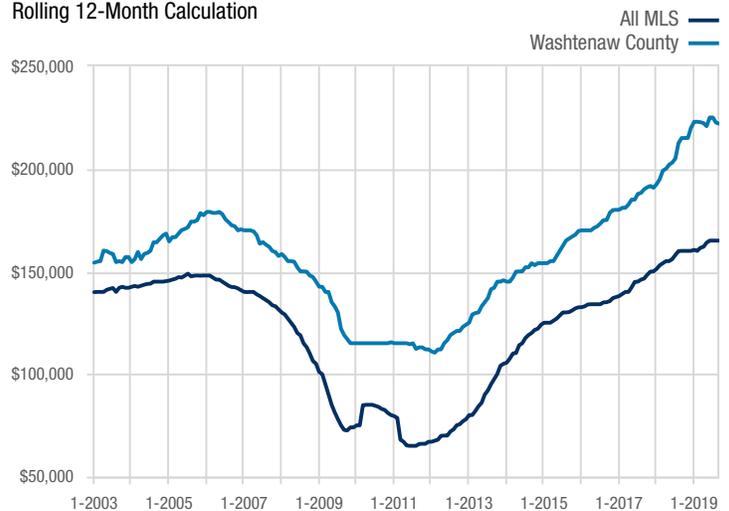
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

Rolling 12-Month Calculation



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Wayne County

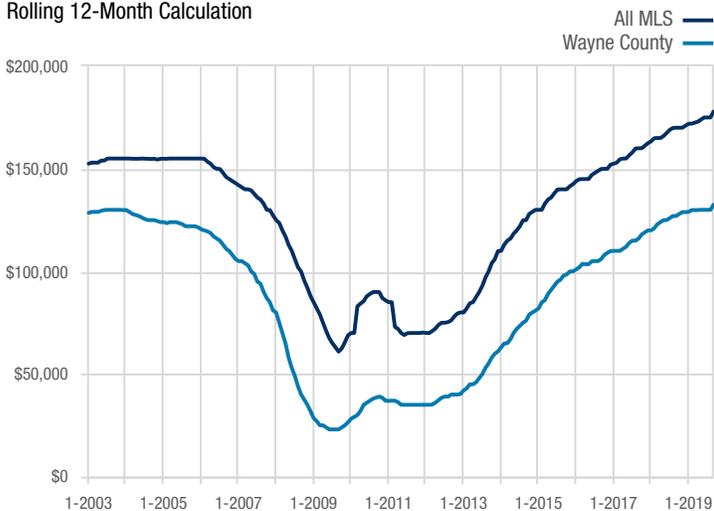
Residential Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	2,601	2,527	- 2.8%	22,566	23,213	+ 2.9%
Pending Sales	1,501	1,722	+ 14.7%	14,580	14,815	+ 1.6%
Closed Sales	1,611	1,658	+ 2.9%	13,944	13,876	- 0.5%
Days on Market Until Sale	28	32	+ 14.3%	33	36	+ 9.1%
Median Sales Price*	\$126,500	\$140,000	+ 10.7%	\$129,900	\$135,000	+ 3.9%
Average Sales Price*	\$156,994	\$176,841	+ 12.6%	\$161,237	\$168,628	+ 4.6%
Percent of List Price Received*	96.7%	96.5%	- 0.2%	97.0%	96.6%	- 0.4%
Inventory of Homes for Sale	6,007	5,278	- 12.1%	—	—	—
Months Supply of Inventory	3.9	3.4	- 12.8%	—	—	—

Condo Key Metrics	September			Year to Date		
	2018	2019	% Change	Thru 9-2018	Thru 9-2019	% Change
New Listings	272	345	+ 26.8%	2,532	2,735	+ 8.0%
Pending Sales	183	214	+ 16.9%	1,790	1,814	+ 1.3%
Closed Sales	191	177	- 7.3%	1,705	1,680	- 1.5%
Days on Market Until Sale	24	27	+ 12.5%	30	35	+ 16.7%
Median Sales Price*	\$154,900	\$185,000	+ 19.4%	\$158,000	\$165,000	+ 4.4%
Average Sales Price*	\$181,132	\$200,554	+ 10.7%	\$182,530	\$194,317	+ 6.5%
Percent of List Price Received*	97.7%	97.4%	- 0.3%	97.8%	97.3%	- 0.5%
Inventory of Homes for Sale	568	664	+ 16.9%	—	—	—
Months Supply of Inventory	3.0	3.5	+ 16.7%	—	—	—

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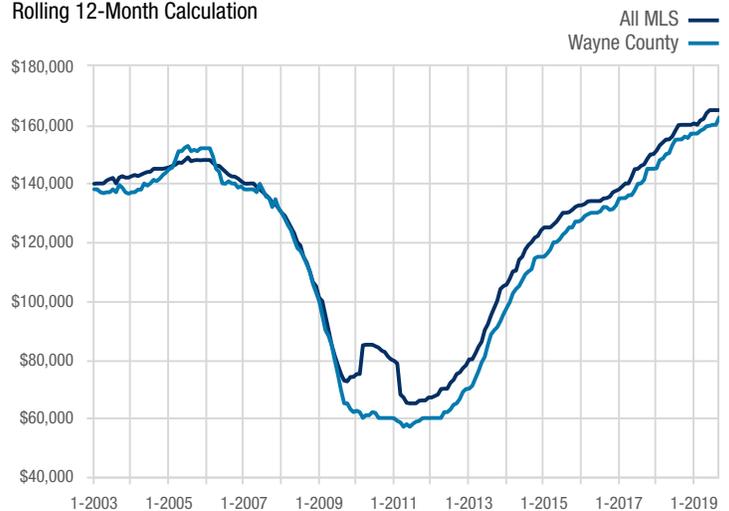
Median Sales Price - Residential

Rolling 12-Month Calculation



Median Sales Price - Condo

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